

The bid requirements, contract requirements, specifications, schedules and drawings for

**Michael Garron Hospital
Outpatient Ophthalmology Clinic**

are amended as follows:

SPECIFICATIONS

1.1 REVISED SPECIFICATIONS

- .1 The following revised specifications issued with this addendum supersede previously issued specifications of the same title and number
 - .1 Section No. 00 01 10_R3, Table of Contents.
 - .2 Section No. 01 00 00_R3, General Requirements.
 - .3 Section No. 02 41 19_R1 Selective Demolition Schedule
 - .4 Section No. 08 71 00-01_R1, Hardware
 - .5 Section No. 09 06 00_R4, Finishes Schedule.

DRAWINGS

1.2 REVISED DRAWINGS

- .1 The following Drawings are revised and re-issued with this addendum. Revisions are shown in bubbled areas on drawings. The following descriptions of revisions are for convenience only and do not define or limit the extent of actual revisions indicated on drawings:
 - .1 Drawing A02-01: Life Safety Plan, OBC Matrix, Contractor Access Route
 - .1 Detail 2/A02-01: Placement of the Contractor's construction waste disposal bin shall be in the northeast parking stall located north of the canopy rooftop unit, as shown clouded on drawings. The Contractor shall maintain this parking stall in a clean, orderly, and unobstructed condition at all times. Any damage arising from the placement or use of the bin, including, but not limited to asphalt surface deterioration, removal of paint markings, curb or bollard impact, or adverse effects on adjacent parking stalls, shall be repaired and fully reinstated to the satisfaction of the Landlord at no additional cost to MGH. Daily housekeeping of the bin area is required to ensure safe and unobstructed access for building occupants and visitors.
 - .2 Drawing A5-01: Door and Frame Schedule
 - .1 Updates to the door schedule as indicated in the clouded areas. ADOs to be added to the procedure room doors as indicated in the revised door schedule.

- .3 Drawing A-20-01: Level 2 Demolition Floor Plan
 - .1 New Demolition Notes D6 and D7 added, together with their corresponding tagged locations on the floor plan, as shown in clouded areas.
- .4 Drawing A-20-03: Level 1 Demolition Reflected Ceiling Plan
 - .1 Detail 1/A20-03: Existing suspended ceilings within other Tenant-occupied suites and common areas (Suite 100, Suite 101, and the Female Washroom adjacent to the existing passenger elevator) shall be temporarily removed to facilitate new mechanical work and tie-ins occurring above the finished ceiling level. The Contractor shall coordinate all access with Property Management and retain building security for all after-hours work. Ceilings must not be left exposed; all ceiling tiles and components shall be reinstated at the end of each work shift to ensure that Tenant operations can fully resume the following business day without interruption. The Contractor shall fully protect all Tenant equipment, supplies, and furnishings using sealed 6-mil polyethylene barriers to prevent dust contamination. Dust barriers shall be applied to all vertical wall surfaces from floor to ceiling on all sides.
- .5 Drawing A-22-01: Level 2 Finishes Plan
 - .1 Addition of section detail 3 Typical Roller Shade Detail
- .6 Drawing A-61-01: Washroom Plans and Elevations
 - .1 Details 1-5/A61-01: Accessibility clearances, washroom accessories, and AODA requirements for the Universal Washroom (Room 13) are revised on the enlarged plan and corresponding elevations, as indicated in clouded areas.

DOCUMENTS

1.3 **NEW DOCUMENTS**

- .1 The following documents are issued with this Addendum.
 - .1 Addendum No. 2 prepared by Zdesign+ Ltd.

End of Addendum No.3

Number	Title	Date	Pages
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**Project Manual
For
Michael Garron Hospital
Outpatient Ophthalmology Clinic**

SPECIFICATIONS

Division 00 – Procurement and Contracting Requirements

	Title Page		1
00 01 10_R 23	Table of Contents	24 27 Nov 2025	2
00 73 00	Supplementary General Conditions		56

Division 01 - General Requirements

01 00 00_R 23	General Requirements	24 27 Nov 2025	24 23
01 25 13	Product Substitution Procedures	05 Nov 2025	4
01 35 33	Infection Control Procedures	05 Nov 2025	2
---	CSA Z313.13 Tables		4

Division 02 – Existing Conditions

02 41 19_R 1	Selective Demolition	05 27 Nov 2025	5
02 82 00	Asbestos Abatement – Type 2 Operations		11

Division 05 - Metals

05 50 00	Metal Fabrications	05 Nov 2025	8
----------	--------------------	-------------	---

Division 06 – Wood, Plastics and Composites

06 10 00	Rough Carpentry	05 Nov 2025	3
06 20 00	Finish Carpentry	05 Nov 2025	11

Division 07 - Thermal and Moisture Protection

07 84 00	Firestopping And Smoke Seals	05 Nov 2025	5
07 92 00	Joint Sealants	05 Nov 2025	8

Division 08 - Openings

08 11 13	Hollow Metal Doors and Frames	05 Nov 2025	7
08 71 00	Hardware	05 Nov 2025	9
	Door Hardware Schedule	49 27 Nov 2025	25
08 80 00	Glazing	05 Nov 2025	6

Division 09 – Finishes

09 06 00_R 34	Finishes Schedule	20 24 Nov 2025	12
09 21 16	Gypsum Board Assemblies	05 Nov 2025	11
09 51 00	Acoustical Ceilings	05 Nov 2025	3
09 65 00	Resilient Flooring	05 Nov 2025	6

Number	Title	Date	Pages
09 91 00	Painting	05 Nov 2025	9
Division 10 – Specialties			
10 26 23	Protective Wall Covering	05 Nov 2025	4
10 28 00	Washroom Accessories	05 Nov 2025	4
Division 12 - Furnishings			
12 24 13	Manual Roller Shades	18 Nov 2025	2
12 35 53	Stainless Steel Laboratory Casework	05 Nov 2025	13
Appendices			
Appendix A1	Designated Substances and Hazardous Materials Survey Report	22 Aug 2025	36
Appendix A2	Medicana Flexelux-80 Exam and Procedure Lights		1
Appendix A3	Dual Ceiling Mounting plate		1
Appendix A4	MGH Network Cabling & Network Closet Standards and Guidelines	Oct 2025	10
Appendix A5	Construction Criteria		4

End of Table of Contents

1 SUMMARY OF WORK

1.1 Work covered under this Contract

- .1 Work of this Contract includes labour, materials, equipment, services and other related expenses to execute complete construction of facility specified under Contract Documents.
- .2 It is the Contractor's sole responsibility to examine the Construction Documents, Specifications and Drawings issued to establish/determine total scope of work.
- .3 In accepting award of this Contract, Contractor hereby reaffirms that it is fully informed regarding all conditions affecting Work including its company's provincial taxes are in good standing and further accepts to complete Work for purpose intended in accordance with Contract Documents. Contractor hereby reaffirms that it does not and will not have any conflict of interest in executing work of this Contract.

1.2 Work Provided By Owner or Performed Under Separate Contracts

- .1 The term "NIC" means that work of this Project which is not being performed or provided by the Contract; the term means "Not In This Contract" or "Not a Part of The Work to be Performed or Provided by The Contractor".
- .2 "NIC" work is specified and/or indicated on the Drawings as an aid to the Contractor in scheduling the amount of time and materials necessary for the completion of the Contract.

1.3 MGH Mandatory Vendors

- .1 Access Control: A1 Design and Lock,
Attention: Robert Young, T. (416) 562-6173
Email: a1design@rogers.com
- .2 CCTV Systems: Chubb Edwards
Attention: Stephen Yates, T. (289) 818-1162
Email: stephen.yates@chubbfs.com

1.4 Mandatory Base Building Vendors:

- .1 Building Controls System: **Viridian Automation**
Attention: Matthew Sidon, T. (905) 580-4016,
Email: msidon@viridianautomation.com
- .2 Base Building Service Provider: Naylor Mechanical
Attention: Allan Landry, T. (416) 881-6645
Email: alandry@naylorbp.com
- .3 **Fire Alarm related work including verification: Trinity Fire**
Attention: Brian Hadfield, T. (416) 676-5658
Email: bhadfield@trinityfire.ca
- .4 **Fire Life and Safety Consultant: Innovative Fire Inc.**
Attention: Janet O'Carrol, T. (416) 221-0093
Email: ocarroll@innovativefire.com

.5 Property Management: JLL Canada
Attention: Alireza Anvari, T. (647) 229-3672
Email: Alireza.anvari@jll.com

2 SPECIFICATIONS

- 2.1 Specifications are not intended as detailed description of installation methods but serve to indicate particular requirements in completed Work.
- 2.2 Where Contract Documents do not provide sufficient information for complete installation of item, then as supplement, comply with manufacturer's written instructions for quality of work.
- 2.3 Portions of Specifications are written in short form. Therefore, it shall be understood that where item of Work is stated in heading followed by material, equipment, component, or operation, words "shall be", "shall consist of" or similar words or phrases are implied which denote supply, fabricate and supply, install, provide or commission of such materials, equipment or operations for component of Work designated by heading.
- 2.4 Where the Contract Documents refer to the singular, provide as many as required to complete Work. Words used in one gender only shall mean females and as well as males and conversely.
- 2.5 Drawings, Lists or Schedules of Items are intended to show scope and arrangement of work. For location of item described refer to such Drawings, Lists or Schedules unless location stipulated in Specifications.
- 2.6 Wherever words "acceptable", "approved", "reviewed", "satisfactory", "selected", "directed", "designated", "permitted", "inspected", "instructed", "clarification", "required", "report", "submit", "obtain", "consult", "advise", or similar words or phrases are used in Standards or in Contract Documents, it shall be understood that, unless context provides otherwise words "by/to/with/from the Consultant" shall follow them as applicable.

3 DIVISION OF WORK

- 3.1 Work specified in the Specifications is divided into Sections for reference purposes only. Division of work between Contractor and Subcontractors is the Contractor's responsibility. The Owner and Consultant assume no responsibility to act as an arbitrator to establish subcontract limits between Sections or Divisions of the Work.

4 REFERENCE STANDARDS

- 4.1 Conform to latest date of issue of referenced standards in effect on date of submission of bids, except where a specific date or issue is specifically noted.

5 WORK RESTRICTIONS

- 5.1 Owner's Policy and Procedural Requirements

.1 Comply with the Owner's policies and procedural requirements prescribed in NWH Construction Criteria, included in the appendix to these specifications, including, but not limited to, **sign-in procedures**, personal conduct and behaviour, **badging, after-hours access rules**, tenant privacy, facility security **protocols**, -mechanical/electrical system interruptions, **restrictions on tools, materials, access routes** and work scheduling.

- .2 Conduct all work in accordance with the most current version of CAN/CSA-Z317.13.
- .3 All building materials and supplies must be in compliance with CSA Z8000 and MIFU, governing IPAC measures incorporated into the design and construction of a health care facility or any part thereof.
- .4 As determined by the Owner's policies, immediately correct all unsafe conditions that are identified within the active facility that are a result of, or related to, the construction work activities.
- .5 Contractor shall coordinate all construction activities with the Landlord's retained Property Manager (JLL Canada). All instructions related to access, suite entry, deliveries, life-safety impairments, and use of common areas shall be strictly adhered to.**
- .6 All after-hours Work, including weekends, shall be coordinated by the Contractor with the Landlord/Property Management. The Contractor is responsible for arranging building security for access, attendance, and monitoring during all after-hours activities, including Work occurring within other Tenant-occupied spaces and common areas. Building security costs will be invoiced directly by the Landlord to MGH and shall not be included in the Contractor's base bid.**
- .7 No construction noise is allowed during building business hours of operation between 8:00am – 6:30pm, Monday to Sunday.**

5.2 Occupancy

- .1 Existing premises outside of the Area of Work will remain occupied and fully operational throughout construction. Contractor to provide a detailed Work Plan to Landlord/Property Manager for review and approval prior to commencing any Work. Execute the Work to cause minimum interference with ongoing operations **within the Medical Building, ground floor retail Tenants, and common building areas. Follow all operational constraints imposed by the Landlord and building Tenants.** and maintain maximum safety for all occupants. Provide necessary precautions and adequate hoardings to minimize and control noise, dirt and dust during Work.
 - .1 Provide a methodology for phasing and staging of the Work, including identification of required safety measures and emergency egress routes for occupants during construction.
 - .2 Before entering any existing premises to execute the Work, or before obstructing, altering, or taking out of service any area or building systems, request a meeting with the Consultant and Property Management to reach agreement on the timing, duration, and extent of required interruptions.
 - .3 Contractor access to other suites, and public corridors, **common areas** including occupied Tenant areas on the ground floor (e.g., retail Pharmacy, Eyeglass Store), shall be coordinated through the Landlord (Northwest Healthcare Properties REIT) with a minimum of five (5) days' notice. **Access is at the Landlord's discretion.**
 - .4 All ~~such~~ Work shall occur after normal business hours, limited to 7:30 p.m. to 6:00 a.m., Monday to Sunday. After-hours Security will be provided by Property Management (**Building security costs will be invoiced directly by the Landlord to MGH and paid by MGH** ~~paid by MGH~~) for all Work **occurring** within occupied Tenant spaces **or Building common areas.**
 - .5 Contractor to provide and maintain adequate construction hoardings and dust-control measures in accordance with CSA guidelines to safely isolate

construction areas from occupied areas at all times. Hoardings shall consist of 6-mil fire-retardant polyethylene barriers extending to the underside of the structure.

- .6 At the end of each shift, reinstate ceilings, remove temporary hoardings (where required), and leave all areas tidy, free of materials and equipment, and dust-free to allow uninterrupted Tenant operations **to resume the next business day**.
- .7 The business schedules of other Tenants shall take precedence over Contractor convenience. Delivery times and access windows may be altered at the Tenant's discretion without prior notice to the Contractor.
- .8 The Building contains only one passenger elevator. All material deliveries shall be coordinated after-hours. A 7:00 a.m. to 8:00 a.m. delivery window may be arranged with the ~~Landlord~~ **Property Management**. Use of the exit stairwell by workers and for materials transport is permitted **only after-hours**.
- .9 Under no circumstances shall the Contractor exceed the elevator's rated load capacity. The Contractor shall supervise all elevator use for construction purposes. Subcontractors shall not use the elevator for material movement without direct oversight by the Contractor's designated site supervisor.
- .10 The existing passenger elevator shall be fully protected by the Contractor prior to transporting any materials, equipment, or tools. Provide a complete elevator protection hoarding system including, but not limited to: rigid wall protection panels, floor protection rated for rolling loads, overhead protection, and door jamb shielding. Protection materials shall be non-combustible, securely fastened, and shall not reduce required clearances for safe operation of the elevator.
- .11 Contractor is prohibited from transporting debris or dusty materials in the passenger elevator during normal business hours. All debris must be transported in sealed containers or securely wrapped to prevent dust escape. Remove all waste from the site daily. Stockpiling demolition debris within the building or in public corridors is strictly prohibited.
- .12 **A designated waste disposal bin may be placed in the northeast parking stall located north of the rooftop unit (RTU), as indicated on drawings. If a second-floor window opening is approved by the Landlord for the supply and installation of a temporary waste chute, demolition debris may be directed from the tenant space into the designated bin. The Contractor shall carefully remove the insulated, aluminum-framed, double-glazed window unit and securely store it within the Contractor's site limits to prevent damage. Additionally, the Contractor shall maintain the parking stall in a clean and orderly condition at all times and shall repair any damage resulting from bin placement or use. Upon removal of the chute, the Contractor shall fully reinstate the exterior window assembly to its original condition, ensure proper operation, full weather-tightness, and restoration of all affected finishes to the satisfaction of the Landlord at no additional cost to MGH.**
- .13 **If a separate second-floor window opening is approved by the Landlord for the use of exterior hoisting equipment to deliver construction materials into the Work Area, the Contractor shall carefully remove the insulated, aluminum-framed, double-glazed window unit and securely store it within the Contractor's site limits to prevent damage. All hoisting operations shall be conducted after-hours only and shall be fully enclosed with appropriate security fencing and safety measures to protect the public and building occupants at all times. Upon completion of hoisting activities, the window assembly shall be fully reinstated to its original condition, ensuring proper**

operation and weather-tightness. Additionally, the Contractor shall bear all associated costs and must limit the number of parking stalls occupied for hoisting equipment to the minimum required for safe operation, ensuring priority use of parking for staff and patients of the Medical Facility.

- ~~12.~~**14** Protect all surfaces along delivery routes, including floor mats, wall guards, corner guards, and elevator pads. ~~Repair damage to Landlord or Tenant.~~ **Any resulting damage to the building property shall be repaired to the satisfaction of the Landlord** at the Contractor's expense.
- ~~13.~~**15** The Building does not have a loading dock. Provide suitable floor and wall protection for all materials delivered through public corridors, including protection of existing carpet.
- ~~14.~~**16** All disruptive or noisy work (including but not limited to core drilling, cutting, hammering, heavy demolition) shall occur after business hours only, limited to 8:00pm - 6:00am Monday to Sunday. If excessive disruptions occur, the Landlord/Property Manager may direct the Contractor to immediately halt Work at no additional cost to MGH.
- ~~15.~~**17** ~~There are no dedicated Contractor washrooms. The existing barrier-free unisex public washroom on the second floor near the elevator may be used.~~ **All areas outside of the construction zone affected by the Work shall be cleaned and fully reinstated to their original condition at the end of each work shift.**
- ~~16.~~**18** Hot Work (welding, soldering, brazing, grinding, etc.) shall only occur under a Hot Work Permit issued by the Landlord/Property Manager. Comply with NFPA 51B and building's **fire-watch** ~~fire safety~~ requirements.
- ~~17.~~**19** Prior to any fire alarm by-pass or impairment, submit an Impairment Plan including duration, isolation points, temporary detection/fire alarm watch/guarding measures, and restoration procedures. Minimum notice period: 10 ~~working~~ **business** days.
- ~~18.~~**20** Storage of materials, **tools** or equipment is ~~not strictly prohibited~~ **permitted** in public corridors, **lobbies**, or common areas at any time. All materials must be delivered just-in-time and stored only within the designated Work Area.
- ~~19.~~**21** Any proposed penetrations through base building elements (slab, roof, demising walls, structural members) must be submitted to the Landlord for review and written approval prior to execution.
- ~~20.~~**22** Do not access or modify base building systems (HVAC, controls, electrical distribution) without approval from the Landlord and their base building service provider.
- ~~21.~~**23** **Keying requirements: Existing keys for all areas under renovation may be used as construction keys during the Work. Upon completion, all affected doors shall be re-keyed, and new keys shall be issued directly to MGH at the time of Substantial Performance.**
- ~~22.~~**24** Contractor to ensure all construction personnel are registered with Property Management before commencing the Work. Visitor badges may be administered to workers by the Landlord for security and identification purposes.
- ~~23.~~**25** All areas under the Contractor's Site Limits including spaces in Other occupied Tenant suites for demolition and construction shall be vacuumed and mopped at the end of each work shift to enable the building tenants to resume regular business operations without disruption.

- .2 Access:
 - .1 Different areas of work within the hospital will be restricted to time frames indicated on Construction Phasing and Hoarding drawings.
 - .2 Before entering existing premises outside of the Area of Work to carry out Work or to obstruct or take out of use any area of existing premises, or to cause any other interference, request meeting with Consultant and Owner in order to reach agreement as to time and length of time Contractor may interfere, possess, obstruct or remove from use any such area or services.

5.3 Access to Area of Work

- .1 Work shall be confined to Area of Work limits indicated on Drawings and/or within area defined by property lines.
- .2 Assume responsibility for care, custody and control of Area of Work and perform work to extent covered in Contract Documents. Make good damage to existing Area of Work and existing building due to Work of this Contract.
- .3 Maintain temporary entrances to areas of Work and provide enclosed hoardings as required. Maintain access to existing building service entrance(s) at all times.
- .4 Work on Municipal property shall be carried out under regulations of respective Municipality and authorities having jurisdiction including without any limitations any associated fees, permits, insurance or bonding required.
- .5 Access to the existing buildings, and access to the neighbouring properties, cannot be blocked or otherwise compromised. Provide a minimum of 44~~10~~ days' notice to Owner and coordinate with Owner for any major disruptions that may impact access to hospital **Landlord Building facilities** or surrounding community.
- .6 Comply with the time frames/schedule of the hospital loading dock supervisor for all materials delivery to site and ensure loading bays are clear of materials/equipment.

5.4 Commencement of Work

- .1 Make all required submittals, receive all reviewed submittals, and marshal all required materials off-site prior to commencing Work on-site.
- .2 The first on-site Work shall be the construction of the hoarding.

5.5 No Smoking Policy

- .1 Cooperate, respect and comply with the Owner's no smoking policy requirements.
- .2 Ensure that Contractor's employees, sub-contractors and suppliers, performing work on Site on Contractor's behalf, are instructed to comply with the Owner's no smoking policy requirements.
- .3 Comply with local By-Law and regulations or any authorities having jurisdiction.
- .4 The property is a leased commercial property and any disruptions to other tenants must be coordinated with the landlord.

6 SPECIAL PROJECT PROCEDURES

- 6.1 Existing premises **and Tenant leased spaces** will maintain **continuous** operation during business hours. Work may be performed during these hours. Carry out work in such a

manner as to cause a minimum of noise and interference to the use of the existing building. Conform to the requirements of the building management. Be responsible for any overtime work required after business hours.

6.2 Co-ordinate construction activities and use of premises with Owner and building **Property** management.

6.3 Maintain operations of building services, data, telephone and alarm. Ensure no interruptions of these services during execution of the Work.

6.4 ~~Provide written notice to the Owner minimum 14 working days before any system shut downs. Major shutdown requires 25 working days' notice. Do not proceed without written approval from Owner~~ **Emergency Response Procedure: Follow standard building emergency protocols and evacuate immediately upon alarm activation. For fire, police, or ambulance, dial 911. Building emergencies to be reported to building staff during business hours or to Call Centre 1-888-553-1069 after hours.**

~~6.5 Provide adequate protection against dust, water and other damages to Owner's electronic and computer equipment, fittings and furniture. Use covers acceptable to the Owner. Remove protection after each work period.~~

7 **SCHEDULE OF VALUES (VALUE OF SUBMITTALS)**

7.1 Within seven Working Days of Contract award, submit a detailed Schedule of Values providing a breakdown of the cost of the Work in a form acceptable to Consultant.

.1 Show the cost (value) of the Work broken down by specification section. Identify each line item with number and title of the primary associated specification section, per month, and coincident with approved construction schedule. Identify site mobilization, bonds, insurance, and commissioning. Cost breakdowns when totalled, shall be same as Contract Price.

.1 Include in each line item, the amount of specified Allowances. For unit cost Allowances, identify quantities taken from Contract Documents multiplied by the unit cost to achieve the total for the item.

7.2 Contractor shall identify general progress and commissioning payment line items for each of the following:

.1 1% of total Contract value for provision of as-built drawings, O&M manuals and warranties covering all sub-contracts.

.2 1% of Mechanical value for Commissioning process including completion and submission of testing forms and reports.

.3 1% of Electrical value for Commissioning process including completion and submission of testing forms and reports.

.4 Contractor shall submit all completed tests, reports and verification forms. The Consultant will use these documents to calculate a percentage completion.

.5 Contractor may claim up to 60% of the value for commissioning through monthly progress payment requests leading up to performance testing. The remaining 40% of the value for commissioning shall be paid-out after the performance testing and training have been completed.

.2 Commissioning 20 08 15 for Mechanical and 26 08 15 for Electrical

7.3 Revise schedule to list approved Change Orders with each Application for Payment.

7.4 Purpose of the cost breakdown is to assist Consultant with evaluation of progress draws and to assist Owner with cash flow arrangements.

7.5 The Owner reserves the right to withhold the amounts allocated for Submittals indicated above pending their submission.

8 CASH ALLOWANCES

8.1 Cash allowances, unless otherwise specified, cover net cost to Contractor of services, products, construction machinery and equipment, freight, handling, unloading, storage, installation and other authorized expenses incurred in performing the Work.

8.2 The Contract Price, and not cash allowance, includes Contractor's overhead and profit in connection with such cash allowance.

8.3 The Owner reserves the right to call competitive tenders for portions of the work to be paid for out of any or all cash allowances. The relationship of the Contractor and the trades performing portions of the work to be paid out of cash allowances shall be such as between the Contractor and his Subcontractors.

8.4 Make expenditures out of the cash allowance at the sole discretion of the Owner and only on receipt of a Change Order signed by the Owner and Consultant.

8.5 Unexpended amounts of cash allowances may be reallocated to other specific cash allowances at the sole discretion of the Owner/**Consultant**.

8.6 Unexpended amounts of cash allowances shall be deducted from the Contract Price at completion of the Work.

8.7 Include in the Contract Price, cash allowances for the following:

Ref #	Description	Amount
1	Signage & Wayfinding: Supply & installation of signage and wayfinding will be coordinated through the cash allowance. MGH will prepare the scope of work including message schedule and the location plan. MGH will solicit the quotation from the approved signage vendor and provide to the Contractor to issue a purchase order. Shop drawing/artwork review will be the responsibility of MGH. Coordination of sign install will be the responsibility of the Contractor.	\$20,000
2	Rectification of existing non-code compliant piping services (e.g. isolation valves, elimination of wet venting, missing piping insulation)	\$25,000
3	Reinstatement of damaged or missing fireproofing protection beneath the metal deck ceiling structure	\$25,000
4	Reinstatement of missing firestopping and/or sealing of existing service penetrations at existing fire separations	\$20,000
5	3 rd Party Testing & Inspection	\$15,000
6	Unforeseen Site Conditions related to the removal of hazardous/designated substances including mould and all associated work related to abatement and replacement of removed materials and building components. This Cash Allowance also includes all costs related to testing and inspection. The contractor is responsible to engage and coordinate the testing and inspection company. Refer to the Designated Substances and Hazardous Materials Survey Report	\$25,000

	prepared by MLE Consulting Inc, dated August 31, 2025.	
7	<p>Voice and Data cabling above ceiling not related to the demolished devices identified in the Electrical drawings. These include:</p> <ul style="list-style-type: none"> • Verify if service is active or abandoned • Remove all abandoned cabling to the head, removal all PEX tubing • Tie to the joists all active cabling <p>Reroute cabling transiting the renovation space through the new partitions</p>	\$25,000
8	<p>Unforeseen site conditions which include but are not limited to the following:</p> <ul style="list-style-type: none"> • addressing unforeseen concealed building elements or services uncovered during demolition that are not identified in the Contract Documents. This includes any remediation or modifications required to maintain code compliance, constructability or overall project continuity. 	\$45,000
	TOTAL	\$200,000

9 CONSTRUCTION SCHEDULE

- 9.1 Submit a critical path construction schedule indicating milestone dates of major activities of the Work. Provide sufficient details of critical events and their inter-relationship for successful performance within the contract time.
- 9.2 Submit schedule within 15 days after award of Contract.

10 EXAMINATION OF EXISTING CONDITIONS

- 10.1 Submission of bid shall be deemed evidence that Contractor has examined the site and is familiar with conditions under which work will be done and obtained all information which may be necessary for proper execution of Contract.
- 10.2 Signing of Contract indicates acceptance by Contractor of conditions under which work will be done.
- 10.3 Extra payments will not be authorized for work that could have been determined by a careful examination of site and existing conditions.

11 EXAMINATION OF SURFACES DURING CONSTRUCTION

- 11.1 Before executing work against surfaces prepared by other Sections, examine such surfaces. Do not accept defective surfaces, or do any work to or on them, until the defects are remedied.
- 11.2 Commencement of work shall indicate acceptance of surfaces and responsibility concerning the conditions of same.

12 EXISTING SERVICES

- 12.1 Cut off, cap, divert or remove existing water, gas, electric and other services in areas being altered which are affected by the changes as required or as directed by the

municipal authorities and the utility company concerned, and the Consultant. Protect and maintain active services to the existing building.

- 12.2 If required by the Consultant, prepare interference and/or installation drawings showing the work of the various Sections as well as the existing installation, and submit these drawings to the Consultant for review before the commencement of work.

13 LOCATION OF EQUIPMENT AND FIXTURES

- 13.1 Location of plumbing, heating and electrical fixtures and outlets, ducts, conduits and pipes shown or specified but not dimensioned shall be considered approximate.
- 13.2 Locate equipment, fixtures and distribution systems to provide minimum interference and maximum usable space, and in accordance with manufacturer's recommendations for safety, access and maintenance.
- 13.3 Consult with the Consultant to determine the actual location of items not dimensioned as may be required to suit the job conditions.
- 13.4 Obtain Consultant's acceptance for precise locations of fixtures, access panels, outlets, mechanical, electrical and security items. Relocation caused by failure to determine the actual locations shall be executed without charge to the Owner.
- 13.5 Consultant reserves the right to relocate fixtures, access panels, outlets, mechanical, electrical and security items at a later date, but prior to installation, without additional cost, provided that the relocation per outlet or fixture does not exceed 3050 mm (10 feet) from the original location

14 INTERFERENCE DRAWINGS

- 14.1 Prepare dimensioned interference drawings indicating relationship of new installations and existing and/or unforeseen conditions prior to commencement of work.
- 14.2 Before commencing installation, prepare interference drawings, based on the actual field measurements, showing relationship of new and existing ductwork, conduit, piping, sprinklers, partitions, ceiling supports and framing, partition framing, communication and specialized equipment located within ceiling and shaft spaces.
- 14.3 Indicate locations of visible items such as air handling outlets, light fixtures, smoke detectors, sprinkler heads, communication grilles, and access panels occurring at these locations.
- 14.4 Drawings shall be initialed by responsible person of each Sub-Contractor involved along with Contractor's signature and submitted to Consultant for review and record purposes

15 DOCUMENTS ON SITE

- 15.1 Maintain at job site, one copy each document as follows:
- .1 Permit Drawings and Building Permit Posters.
 - .2 Contract Drawings and Specifications.
 - .3 Addenda.
 - .4 Reviewed Shop Drawings.

- .5 List of Outstanding Shop Drawings.
- .6 Change Orders.
- .7 Other Modifications to Contract.
- .8 Field Test Reports.
- .9 Copy of Approved Work Schedule.
- .10 Site-Specific Health and Safety Plan and Other Safety Related Documents.
- .11 Fire Watch Log.
- 15.2 Other documents as specified
- 16 **NOISE LIMITATIONS AND DUST CONTROL**
- 16.1 Keep construction noise to a minimum.
- 16.2 No pneumatic or other noisy equipment will be permitted on the project site.
- 16.3 All vehicles and equipment shall be equipped with efficient muffling devices to minimize noise levels in the project area. In particular, construction equipment such as compressors, gas and diesel driven engines shall be equipped with efficient mufflers.
- 16.4 Undertake dust control measures to prevent dust nuisances resulting from any phase of the construction operation. Contractor to use tack mats **and replace frequently as required, maintain** dust containment materials, dedicated cleaners. **Ensure daily vacuuming/mopping of all access routes used by construction personnel.**
- 16.5 Carry out dust control practices at all locations on site.
- 16.6 Provide air scrubbers for equipment, including trucks, to prevent exhaust fumes from entering nearby buildings' air intakes. Provide documentation to the Consultant confirming installation of scrubbers prior to equipment arriving on site.
- 17 **OVERLOADING**
- 17.1 Take precautions to prevent the overloading of any part of the structure, false work, form work or scaffolding during the progress of the Work, and make good, at no expense to the Owner, all damage resulting from such overloading.
- 17.2 No load bearing members shall be cut, drilled or sleeved without the written consent of the Consultant.
- 18 **HOLES THROUGH FLOORS AND WALLS**
- 18.1 Where holes are made in floors for the passage of pipes, ducts and conduit or wires, the holes shall be sealed with cement grout after the pipes, ducts and conduit or wires have been placed.
- 18.2 Where holes are made in walls for the passage of pipes, ducts, conduit or wires, holes shall be filled with a suitable material, cement grout in masonry or concrete walls or plaster in plaster or drywall walls, regardless of whether or not the pipes have escutcheon plates. Grout or plaster around outside of sleeves where holes are sleeved.

18.3 ~~In mechanical rooms above grade and in other rooms where faucets occur, the pipes, ducts, conduits or wires or all, which pass through floors, shall be enclosed in a 100 mm high metal sleeve and then grouted around pipes and ducts.~~ **No core drilling or structural penetrations are permitted without prior GPR scanning and written approval from Property Management, including approval of the scheduled scanning time to allow affected Tenant occupied areas be given sufficient notice in advance by the Landlord.**

~~18.3~~ **18.4** **Ground penetrating radar (GPR) scanning is mandatory before any drilling. The Contractor shall be fully responsible, without additional cost to the Tenant or Landlord, for all damage arising from drilling or penetrations and for all associated repairs.**

~~18.4~~ **18.5** Above requirements shall apply to both exposed and concealed walls and floors.

19 **MAKING GOOD**

19.1 Make good materials and finishes which are damaged or disturbed during the process of additions and reconstruction under the Contract. in accordance with Z317.13.

19.2 Where existing work is to be made good, match new work exactly with the old work in material, form, construction and finish unless otherwise noted or specified.

19.3 Protect work in the existing building, such as floors, finishes, trim, etc., as completely as possible to hold the replacing of damaged work to a minimum.

19.4 Preparation for new finishes:

- .1 Remove existing finishes, including painting.
- .2 Fill cracks and depressions with suitable filler and finish smooth, as recommended by the manufacturer of the new finishes.
- .3 Grind protrusions level with substrates and finish smooth.
- .4 Remove all evidences of existing adhesive, grease, oil, soil and other encrustations of foreign material by washing, scraping and grinding if necessary.
- .5 Clean and prepare substrates to receive new work.

20 **CUTTING AND PATCHING**

20.1 Perform cutting, fitting, and patching to complete the Work. Do not cut, drill or sleeve load-bearing members without obtaining written approval for each condition. Work to be done in accordance with Z317.13 guidelines.

20.2 Remove and replace defective and non-conforming work.

20.3 Perform work to avoid damage to other work.

20.4 Prepare proper surfaces to receive patching and finishing.

20.5 Cut rigid materials using power saw or core drill. Pneumatic or impact tools not allowed.

20.6 Restore work with new products to match existing in accordance with Contract Documents.

- 20.7 Fit work airtight to pipes, sleeves, ducts, conduit, and other penetrations through surfaces.
- 20.8 At penetration of fire-rated wall, ceiling, or floor construction, completely seal voids with fire-rated material, full thickness of construction element.
- 20.9 Refinish surfaces to match adjacent finishes; for continuous surfaces refinish to nearest intersection; for an assembly, refinish entire unit.

21 **SALVAGE AND DISPOSAL OF MATERIALS**

- 21.1 Cut, disconnect and detach items and materials designated to be removed.
- 21.2 All materials resulting from the demolition work except as otherwise specified or directed shall become the property of the Contractor.
- 21.3 Remove all material and debris from the site as quickly as possible and dispose of legally.
- 21.4 Burning of debris or selling of materials on the site will not be permitted.

22 **FIRE SAFETY DURING CONSTRUCTION**

- 22.1 Provide fire prevention and protection measures to existing building as required by all authorities having jurisdiction.
- 22.2 Maintain exits, including stairways and exterior doors to the outside. Provide acceptable alternative exits where an existing exit is blocked off or deleted due to construction activities.
- 22.3 Where access to an exit through construction area is absolutely necessary, clearly define, protect and separate access from the construction area by a smoke tight fire separation equivalent to minimum 3/4 hour fire resistance rating.

23 **SAFETY MEASURES**

- 23.1 Comply with the safety regulations of the Occupational Health and Safety Act and authorities having jurisdiction for the safety of the Work.

24 **PROJECT MEETINGS**

- 24.1 Schedule and administer project progress meetings throughout progress of work.
- .1 Project progress meetings shall occur bi-weekly and as required.
- 24.2 Distribute written notice of each meeting four days in advance of meeting date to Consultant and Owner.
- 24.3 Provide physical space and make arrangements for meetings.
- 24.4 Record minutes. Include significant proceedings and decisions. Identify 'action by' parties.

24.5 Reproduce and distribute copies of minutes within three days after each meeting and transmit to meeting participants, affected parties not in attendance, Consultant and Owner.

25 SUBMITTALS

25.1 Administrative

.1 Submit to Consultant submittals listed for review. Submit with reasonable promptness and in an orderly sequence so as to not cause delay in the Work. Identify Drawing Number and Specification Section number to which the submittal applies.

.2 Unless otherwise specifically permitted by the Consultant, make submittals in groups containing associated items; the Consultant may reject partial submittals as not complying with the provisions of the Contract Documents.

.3 Make submittals far enough in advance of scheduled dates of installation to provide required time for reviews, for securing necessary reviews, for possible revision and re-submittal, and for placing orders and securing delivery so as to cause no delay in the Work or in the work of other contractors. Costs of delays occasioned by tardiness of submittals shall not be borne by the Owner.

.4 Do not proceed with Work affected by submittal until review is complete.

.5 Review submittals prior to submission to Consultant. This review represents that necessary requirements have been determined and verified, or will be, and that each submittal has been checked and co-ordinated with requirements of the Work and Contract Documents.

.6 Verify field measurements and affected adjacent Work is coordinated.

25.2 Submittals Processing Time: Allow time for submittal review, including time for re-submittals, as follows:

.1 Time for review shall commence on Consultant's receipt of submittal. If a shop drawing is received after 12 noon, it will be considered as received the next working day for the purposes of the processing time.

.2 For scheduling purposes allow minimum 10 working days following submission and minimum 10 working days following resubmission. Consultant will advise Contractor if additional time is required for technical or co-ordination review.

.3 Concurrent Review: When concurrent review of submittals by Consultant's subconsultants, Owner, or other parties is required, allow a minimum of fifteen (15) working days for initial review of each submittal. Direct transmittal to Consultant's subconsultants will not be permitted.

.4 If at any time the Contractor submits unusually large number of shop drawings, the Consultant will, within 5 working days of receipt of such drawings, provide the Contractor with an estimate of time necessary for processing such shop drawings.

.5 Shop drawings, finishes, and Mechanical and Electrical components affecting base building systems shall be submitted to the Landlord for review in parallel with Consultant review.

~~.5.6~~ Failure to provide submittals in ample time is not considered sufficient reason for extension of Contract Time and no claim for extension will be allowed.

25.3 Shop Drawings and Product Data

- .1 Indicate materials, methods of construction and attachment or anchorage, erection diagrams, connection, explanatory notes and other information necessary for completion of Work.
- .2 Adjustments made on shop drawings by Consultant are not intended to change Contract Price.
- .3 Make changes in shop drawings as Consultant may require.
- .4 Submit Shop drawings and Product Data in electronic format as a PDF or DWG file via the project website or other means of electronic file delivery. Scanned drawings will only be accepted if legible. Illegible drawings will be rejected.
- .5 Product Data catalogue cuts showing all aspects, design, sizes, components and rough-in information for equipment may be submitted where shop drawings will not be prepared due to standardized manufacture of product. Supplement standard information to provide details applicable to project. Generic documents will be rejected.

25.4 Samples

- .1 Submit samples for review as requested in respective specification Sections.
- .2 Deliver samples prepaid to Consultant's business address.
- .3 Any substitutions of finishes/fixtures must be in compliant with MGH cleaning agents. Samples to be provided to MGH for approval.

25.5 Operating Maintenance Manuals

- .1 Two weeks prior to Substantial Performance of the Work, submit to Consultant, three copies of operating and maintenance manuals.
- .2 Manuals to contain operational information on equipment, cleaning and lubrication schedules, filters, overhaul and adjustment schedules and similar maintenance information.
- .3 Bind contents in a three-ring, hard covered, plastic jacketed binder. Organize contents into applicable categories of work, parallel to specifications Sections.

26 **AS BUILT AND RECORD DRAWINGS**

- 26.1 After award of Contract, obtain a set of CAD drawings from the Consultant. Make sets of white prints for purpose of maintaining record drawings. Accurately and neatly record deviations from Contract Documents caused by site conditions and changes ordered by Consultant.
- 26.2 Record locations of concealed components of mechanical and electrical services.
- 26.3 Identify drawings as "Project Record Copy". Maintain in new condition and make available for inspection on site by Consultant. On a weekly basis, scan marked-up drawings to Adobe PDF format and provide a copy to Owner and Consultant.
- 26.4 On completion of Work and prior to final inspection, submit record documents to Consultant.

- 26.5 Prior to testing, balancing and adjusting, obtain a current set of CAD files from the Consultant and transfer record drawing information to AutoCad 2016 (CAD) files, to record final as-built condition.
- 26.6 Drawings are to remain set to and follow Consultants AutoCad Standards. Do not alter drawing scales, X-refs, colours, layers or text styles.
- 26.7 The Consultant's CAD files may not reflect all or any construction changes.
- 26.8 Where items have been deleted, moved, renumbered or otherwise changed from contract drawings, revise the CAD files to record these changes. "Bubble" these revisions, and place these annotations on a separate and easily identified drawing layer.
- 26.9 As-built drawings to show the final as-built condition.
- 26.10 Identify each drawing in lower right hand corner in letters at least 12 mm (½") high and as follows:

"AS-BUILT DRAWINGS. This drawing has been revised to show all systems and conditions as installed". [Signature of Contractor] and [Date]
- 26.11 Provide "AS BUILT DRAWINGS" white prints to Consultant for review. Transfer Consultant's comments to the CAD files. Return AutoCad drawings modified to "As Built" condition to Consultants on CD or DVD Rom.
- 26.12 Submit three (3) sets of final "AS BUILT DRAWINGS" white prints with Operating and Maintenance Manuals.
- 26.13 Submit full set of final "AS BUILT DRAWINGS" to Owner in digital format: AutoCAD and PDF files, on CD or DVD Rom, or USB Flash drive, in triplicate.

27 **QUALITY CONTROL**

- 27.1 Owner's Quality Control
- .1 The Owner may require during progress of the Work, testing and inspection by an independent testing agency as directed by the Consultant, or as required in these Specifications, to determine if materials provided for the Works meet the specified requirements. The cost of these services shall be paid by Cash Allowances.
- .1 In this case, the Contractor shall pay independent inspection and testing agency charges authorized by the Consultant from the cash allowances included for these services.
- .2 Employment of inspection/testing agencies does not relax Contractor's responsibility to perform Work in accordance with Contract Documents.
- .3 Contractor shall provide equipment required by testing agencies for executing inspection and testing.
- .4 Re-Testing and Re-Inspection:
- .1 If defects are revealed during inspection and testing, testing agency will request additional inspection and/or testing to ascertain full degree of defect. Re-testing and re-inspection shall be performed by the same testing agency as the initial tests.
- .1 Contractor shall correct defects and irregularities at no cost to Owner;

- .2 Contractor shall pay costs for re-testing and re-inspection.
- .5 Microbiological clearance testing shall accompany HVAC and potable water supplies prior to hand over.
- 27.2 Code Compliance and Contractor's Convenience Testing
 - .1 Code Compliance Testing: Inspection and tests required by codes or ordinances, or by an authority having jurisdiction shall be the responsibility of the Contractor and shall be paid for by the Contractor as part of the Contract Price.
 - .2 Contractor's Convenience Testing: Inspection or testing performed exclusively for the Contractor's convenience shall be the sole responsibility of the Contractor and paid for by Contractor as part of the Contractor's overhead expenses.
 - .3 Engage a qualified testing agency to perform these quality-control services. Contractor shall not employ same entity engaged by Owner, unless agreed to in writing by Owner.
 - .4 Submit a certified written report, in triplicate, of each quality-control service.
 - .5 Submit additional copies of each written report directly to authorities having jurisdiction, when they so direct.
 - .6 Re-testing/Re-inspecting: Provide quality-control services, including re-testing and re-inspecting, for construction that replaced Work that failed to comply with the Contract Documents. Pay costs for re-testing and re-inspection..
- 28 **SITE SIGNS**
- 28.1 Do not exhibit on the site advertisements or signs other than those required by authorities having jurisdiction, unless otherwise approved by the Consultant, in writing.
- 29 **CONSTRUCTION FACILITIES AND TEMPORARY CONTROLS**
- 29.1 Co-ordination
 - .1 Co-ordinate with the building management use of temporary controls and facilities not provided under this Contract, including but not necessarily limited to material delivery, unloading and hoisting. Make prior arrangements and schedule use at times acceptable to the building management. Be responsible for payment for use of such facilities.
- 29.2 Installation/Removal
 - .1 Provide construction facilities and temporary controls in order to execute work expeditiously. Remove from site all such work after use.
- 29.3 Hoisting and Delivery
 - .1 Material unloading and hoisting will be restricted to after hours.
 - .2 Use of the building elevator for material movement shall be restricted to after-hours only unless otherwise authorized by the Property Management. After-hours service require building security to place the elevator on service, attendance and monitoring. Building security costs will be invoiced directly by the Landlord to MGH for payment and shall not be included in the Contractor's base bid.**

- .3 Large equipment or long-format materials that cannot be transported safely through the passenger elevator must be carried via the stairwell after-hours only. Stairwell use requires full protection of walls, corners, and handrails. The Contractor shall repair any damage and clean all affected areas immediately at their own expense without additional cost to the Landlord/MGH.**
 - ~~.2.4~~ Arrange for delivery and unloading of materials at areas designated by the building management. Do not interfere with vehicular traffic on the streets and pedestrian traffic on the sidewalks.
- 29.4 Security Provisions
 - .1 Maintain and conform to existing security provisions required by the building management. Do not compromise such provisions.
- 29.5 Hoarding and Barricades
 - .1 Erect hoarding and barricades to protect public, workers, public and private property from injury or damage. Provide lockable doors within hoarding for access to site by workers.
 - .2 Provide 6-mil fire-retardant polyethylene or rigid hoarding from floor to underside of structure at all interface points between Work Areas and occupied Tenant areas. Hoarding must comply with the building's fire-safety protocol and permit visual inspection by Landlord or Property Management upon request at any time.**
 - .3 Hoarding design and material assembly shall be reviewed with the Landlord/Property Management in advance for approvals prior to construction commencement. No penetrations, attachments, or fastening to building finishes may be made without required approval.**
- 29.6 Weather Enclosures
 - .1 Provide weathertight closures to unfinished door and window openings, tops of shafts and other openings in floors and roofs.
 - .2 Close off floor areas where walls are not finished; seal off other openings; enclose building interior work area for temporary heat.
- 29.7 Parking
 - .1 Parking will not be provided.
- 29.8 Dust Tight Screens
 - .1 Provide dust tight screens or partitions to localize dust generating activities, and for protection of workers, finished areas of Work and public.
 - .2 Maintain and relocate protection until such Work is complete.
- 29.9 Site Storage/Loading
 - .1 Confine the Work and operations of employees to limits indicated by Contract Documents. Do not unreasonably encumber premises with Products.
 - .2 Do not load or permit to be loaded any part of the Work with a weight or force that will endanger the Work.

29.10 Sanitary Facilities

- .1 ~~Existing facilities as designated may be used during construction period~~ **No dedicated Contractor washrooms are provided.**
- .2 Maintain in clean condition.

29.11 Water and Power Supply

- .1 The Owner will provide and pay for a continuous supply of water, power for construction use as available from the existing facilities. Provide hoses, extensions, connections, and transformers as required for execution of the Work. Provide extra supply if the existing facilities are insufficient or not suitable for construction use.
- .2 Arrange for connection with appropriate utility company and pay costs for installation, maintenance and removal.

29.12 Temporary Lighting

- .1 Provide temporary lighting required during construction period, including attendance and maintenance.
- .2 Maintain lighting at levels required by Sections doing the work.

29.13 Temporary Heating

- .1 Provide temporary heating required during construction period, including attendance, maintenance and fuel.
- .2 Construction heaters used inside building must be vented to outside or be non-flameless type. Solid fuel salamanders not permitted.
- .3 Maintain temperatures at levels required by Sections doing the work.
- .4 Ventilate heated areas and keep building free of exhaust or combustion gases.

29.14 Temporary Telephone

- .1 Provide and pay for temporary telephones necessary for own use and use of Consultant and Owner.

29.15 Equipment/Tool/Materials Storage

- .1 Provide and maintain, in clean and orderly condition, lockable areas for storage of tools, equipment and materials.
- .2 Locate materials on site in manner to cause least interference with work activities.

29.16 Project Cleanliness

- .1 Maintain the Work in tidy condition, free from accumulation of waste products and debris.
- .2 Remove waste material and debris from site at end of each working day. Do not burn waste materials on site.
- .3 Clean interior areas prior to start of finish work, maintain areas free of dust and other contaminants during finishing operations.

- .4 Project site and adjacent active areas of the building to be protected from dust and debris from the renovation activity. All infrastructure must be protected in accordance with CSA Z8000; CSA Z317; CSA 317.2; and MOL.

30 MATERIAL AND EQUIPMENT

30.1 Product and Material Quality

- .1 Products, materials, equipment and articles incorporated in Work shall be new, not damaged or defective, and of best quality for purpose intended. If requested, furnish evidence as to type, source and quality of Products provided.
- .2 Whenever Products are specified exclusively by trade name, manufacturer's name or by catalogue reference, use only those items, unless written approval for substitution is obtained from Consultant.
- .3 Defective Products, will be rejected, regardless of previous inspections. Inspection does not relieve responsibility, but is precaution against oversight or error. Remove and replace defective Products at own expense and be responsible for delays and expenses caused by rejection.
- .4 Should any dispute arise as to quality or fitness of Products, decision rests strictly with Consultant based upon requirements of Contract Documents.

30.2 Storage, Handling and Protection

- .1 Handle and store Products in manner to prevent damage, adulteration, deterioration and soiling and in accordance with manufacturer's instructions when applicable.
- .2 Store packaged or bundled Products in original and undamaged condition with manufacturer's seals and labels intact.

30.3 Manufacturer's Instructions

- .1 Unless otherwise indicated in specifications, install or erect Products in accordance with manufacturer's instructions. Do not rely on labels or enclosures provided with Products. Obtain written instructions directly from manufacturers.
- .2 Notify Consultant in writing, of conflicts between specifications and manufacturer's instructions, so that Consultant may establish course of action.
- .3 Improper installation or erection of Products, due to failure in complying with these requirements, authorizes Consultant to require removal and reinstallation at no increase to Contract Price.

30.4 Workmanship

- .1 Workmanship shall be best quality, executed by workers experienced and skilled in respective duties for which they are employed. Immediately notify Consultant if required Work is such as to make it impractical to produce required results.
- .2 Do not employ any unfit person or anyone unskilled in their required duties.
- .3 Decisions as to quality or fitness of workmanship in cases of dispute rest solely with Consultant, whose decision is final.

30.5 Concealment

- .1 In finished areas, conceal pipes, ducts and wiring in floors, walls and ceilings, except where indicated otherwise.
- .2 Before installation, inform Consultant if there is a contradictory situation. Install as directed by Consultant.

31 **GENERAL COMMISSIONING REQUIREMENTS**

~~31.1 The Owner will retain and pay for an Independent Commissioning Agent (CA) who will provide Commissioning Services including witness Testing and Commissioning Services as required.~~

~~31.2 The Owner's designated Commissioning Agent will provide the commissioning procedures and checklists for use by the Contractor and his Subcontractors.~~

~~31.3~~**31.1** Contractor's Roles and Responsibilities

- .1 Prepare the commissioning schedule in conjunction with construction schedule.
- .2 Lead the coordination and scheduling of commissioning work.
- .3 Schedule and attend commissioning coordination meetings.
- .4 Ensure cooperation and participation of all sub-contractors, major equipment manufacturers, and suppliers.
- .5 Ensure deficiencies are corrected.
- .6 Upon completion of all phases of the commissioning program, provide a final commissioning report.
- .7 Provide testing of integrated life safety and fire protection systems and related equipment in accordance with CAN/ULC S1001 Integrated Systems Testing of Fire Protection and Life Safety Systems and Fire Protection Commissioning.

~~31.4~~**31.2** For additional requirements, refer to individual technical specifications for each affected Division of the Work, specifically to sections 20 08 11, 20 08 15, and section 26 08 15

~~31.5~~**31.3** All mechanical systems must be commissioned in accordance with CSA Z8001 and where indicated, supported with NEGATIVE microbiological test results.

32 **CONTRACT CLOSEOUT**

32.1 Final Cleaning

- .1 When the Work is Substantially Performed, remove surplus products, tools construction machinery and equipment not required for performance of remaining Work.
- .2 Leave work broom clean before inspection process commences.
- .3 Clean and polish glass, mirrors, hardware, wall tile, stainless steel, chrome, porcelain enamel, baked enamel, plastic laminate, mechanical and electrical fixtures. Replace broken, scratched or disfigured glass.
- .4 Remove stains, spots, marks and dirt from decorative work, electrical and mechanical fixtures, furniture fitments, walls ceilings.

- .5 Vacuum clean and dust building interiors, behind grilles, louvres and screens.
- .6 Wax, seal, shampoo or prepare floor finishes, as recommended by manufacturer.
- .7 Broom clean and wash exterior walks, steps and surfaces.
- .8 Remove dirt and other disfigurations from exterior surfaces.
- .9 Location shall receive a construction clean prior to hand over to MGH Prior to occupancy for use, the renovated space shall include 2 terminal cleans spaced 24hrs apart from the end of the first to the start of the second clean.
- .10 All access routes, corridors, and common areas traversed by construction personnel must be vacuumed and mopped at the end of each work shift. No construction debris may remain in any shared area overnight.**

32.2 Systems Demonstration

- .1 Prior to final inspection, demonstrate operation of each system to Owner.
- .2 Instruct personnel in operation, adjustment, and maintenance of equipment and systems, using provided operation and maintenance data as basis for instruction.

32.3 Documents

- .1 Collect reviewed submittals and assemble documents executed by Subcontractors, suppliers, and manufacturers.
- .2 Submit material prior to final application for payment.
- .3 Submit three copies of Project Record Manual consisting of operation and maintenance data and one set of record (as-built) drawings white prints.
- .4 Provide warranties fully executed and notarized.
- .5 Execute transition of Performance Bond to warranty period requirements.

32.4 Inspection/Takeover Procedures

- .1 Prior to application for certificate of Substantial Performance, carefully inspect the Work and ensure it is complete, that major and minor construction deficiencies are complete, defects are corrected and building is clean and in condition for occupancy. Notify Consultant in writing, of satisfactory completion of the Work and request an inspection.
- .2 During Consultant inspection, a list of deficiencies and defects will be tabulated. Correct same.
- .3 When Consultant considers deficiencies and defects have been corrected and it appears requirements of Contract have been performed, make application for certificate of Substantial Performance.
- .4 Conform to OAA/OGCA Document No.100 for takeover procedures.
- .5 Submit a final statement of accounting giving total adjusted Contract Price, previous payments, and monies remaining due.

- .6 Consultant will issue a final change order reflecting approved adjustments to Contract Price not previously made.

End of Section

PART - 1 GENERAL

1.1 SUMMARY

- .1 Section Includes:
 - .1 Labour, Products, equipment and services necessary to complete the work of this Section.

1.2 SECTION INCLUDES

- .1 This Section of the Work covers the requirements for demolishing, salvaging, relocating and removing wholly or in part the various items designated on the drawings or required to be removed or partially removed for the receipt of the Work of this Contract.
- .2 Selective demolition includes, but is not necessarily limited to:
 - .1 Alteration and renovations to existing building.
 - .2 Cutting and removing of walls, ceilings, floor finishes, etc., in the existing buildings as indicated on drawings.
 - .3 Patching, making good walls, floors and ceilings including painting, as required.
 - .4 Removal of rubbish, debris, demolished fixtures, fitments and items not scheduled to remain Owner's property, resulting from the demolition and preparatory work.
 - .5 Dust Control during the operations of the work of this section.

1.3 QUALITY ASSURANCE

- .1 Comply with pertinent codes, regulations and insurance carriers providing coverage for this Work.
- .2 Execute the work in strict accordance with 'The Occupational Health and Safety Act and Regulations for Construction Projects' latest addition. Keep copy of the Act at the place of the Work at all times.
- .3 Carry out demolition work in accordance with CSA S350-M.
- .4 Submit fire safety plan in accordance with requirements of Owner.

1.4 SUBMITTALS

- .1 Submit demolition and cutting schedule to Consultant for review. Schedule to show timing and phasing of the Work in the various areas of the existing building. Deviation from schedule will not be permitted without approval.
- .2 Submit drawings to Consultant for review of demolition of structural elements.
 - .1 Make sure drawings bear the seal and signature of a licensed Professional Engineer, registered to practice in the Province of Ontario.
 - .2 Drawings to indicate extent of demolition and method of temporary shoring of existing structure where required.
 - .3 **All hazardous substance removals shall be coordinated in consultation with MGH's consultant. Add contact info:MLE Consulting Inc. Contact: Marina Laccona M.416-540-1944 E. marina@mleconsulting.ca.**

1.5 PROTECTION

- .1 Erect barricades, covered ways, barriers, scaffolding, screens, notice and warning boards and maintain all lights, signals and protection of all kinds for the protection of workmen on the Work, for the protection of property and for the protection of public.
- .2 Use all means necessary to protect existing objects designated to remain and in the event of damage, immediately make all repairs and replacements necessary to the approval of the Consultant and at no additional cost to Owner.
- .3 Provide protection required to enable existing building and equipment to remain in continuous and normal operations, and maintain construction schedule.
- .4 Protect work in the existing building, such as floors, finishes, trim, etc., as completely as possible to hold the replacing of damaged work to a minimum

PART - 2 PRODUCTS

2.1 MATERIALS

- .1 Temporary braces, tie-rods, clamps, supports and cratings: constructed in accordance with plans prepared by Contractor.

2.2 TEMPORARY PARTITIONS

- .1 Erect Temporary Partitions / Dust-Proof Barriers / Hoarding prior to demolition. Adjust and relocate partitions as required for various operations of Work.

PART - 3 EXECUTION

3.1 PREPARATION

- .1 Notify the Consultant at least seven (7) days prior to commencing of the work.
- .2 The drawings do not purport to show all objects existing on the site. Before commencing the Work, carefully check drawings and verify with the Consultant regarding all objects to be removed and all objects to be preserved.
- .3 Schedule all Work in a careful manner with all necessary consideration for the requirements of Owner, his employees and the public.
- .4 Avoid interference with the use of, and passage to and from, adjacent buildings and facilities.
- .5 Before shutting-down any system verify with the Owner and schedule acceptable shut-down date with minimum 14 days' notice.
- .6 Before starting the operations, arrange with the appropriate trade concerned for the disconnection of all utility services, affecting the work.
- .7 Preserve in operating condition all active utilities to remain.

3.1 **DRILLING OR CORING INTO EXISTING CONCRETE**

- .1 Prior to coring and drilling into an existing concrete member (slabs, beams, columns and walls), provide full scanning, X-raying of the surfaces to locate rebars and other embedded items, such as pretensioned strands, electrical and communication conduits. Employ a professional structural engineer registered in the province of Place of the Work to review the Xray scanning report and provide recommendations for coring, drilling, trenching and proposed penetrations.
- .2 Once the concrete reinforcement and other obstructions have been located, submit a coring request for review by Consultant, indicating located obstructions layout and proposed penetration locations.
 - .1 If obstructions are found, relocate proposed penetrations, anchors and cores in order to avoid damaging embedded items.
 - .2 Clearly mark existing concrete to show proposed penetrations.
 - .3 In certain cases, it may be necessary for the Consultant to review condition on site. In such cases, arrange a site visit by Consultant to review each proposed location.
 - .4 Proceed with coring and drilling only upon obtaining written approval for each condition.
- .3 Indicate penetration locations on As-Built Drawings, showing the size of each hole and the distance in relation to grid lines.

3.2 **DEMOLITION AND PREPARATORY WORK**

- .1 In order to afford the least interference with the efficient operations of the existing building and to keep the risk of fire to a minimum at all times, ensure that demolished materials are continuously removed from the buildings and grounds as they accumulate, that no hazard condition is left during non-working hours and that full measures are taken by sprinkling and other means to keep dust to a minimum and to confine what dust there is within the working area.
- .2 Maintain proper and safe means of fire exit from all zones of the existing building to the approval of the authorities having jurisdiction.
- .3 Confine operation to those parts of the buildings which are to be altered or renovated. Do not damage existing construction beyond that necessary for performance of new work and repair such damage as required.
- .4 Carefully remove in re-usable condition, transport and store on site where directed by Owner and protect against damage all materials and equipment to be salvaged or relocated for reuse in the new work as directed by the Owner.
- .5 Take possession of all other materials arising from the demolition work and remove from the site daily.
- .6 Demolished materials become Contractor's property, unless such materials are identified on Contract Documents to be reused or turned over to Owner.
- .7 Demolish work into sections of practical size for removal without alteration or damage to the existing building remaining in place.

- .8 Cut openings through existing walls, partitions and floors. Establish exact location of steel reinforcing in existing concrete slabs or walls before holes are made. Be responsible for damage to existing steel reinforcing and be liable for structural failure. Make good surfaces disturbed with materials to match existing.
- .9 Cut to accommodate new structural steel members.
- .10 Sawcut floors, walls, ceiling and other elements before demolition is started, to minimize damage. Make cuts with clean, true, smooth edges. New openings required in existing walls and partitions shall be carefully cut and formed to blend into existing work.
- .11 Where items are to be removed from existing structure or surfaces that are to remain in place, remove those items complete with hangers, brackets and other readily removable supports and fastenings:
 - .1 Remove bolts, but not inserts embedded in concrete or masonry.
 - .2 Remove bolt and rivet fastenings from steel structure.
- .12 Join and make good new work to existing in such a manner that the joint is structurally sound and inconspicuous.
- .13 Cuts, breaks and other temporary openings into existing surfaces, which are required for installation or application of new fixtures, fitments, materials or services shall be, at completion of work, patched and/or made good and finished to blend with surrounding finishes. Openings to allow passage of ducts shall be closed tight to perimeters of duct at all locations where fire dampers are required.
- .14 Where fireproofing membranes or coverings to existing structural steel members and open web steel joists are disturbed, restore the fire protection with materials and methods acceptable by the authorities having jurisdiction.
- .15 In areas where work is required to be performed over acoustic ceilings composed of lay-in panels in a supporting grid, carefully remove panels to avoid damage and replace when work is completed. If existing lay-in panels in a room are damaged and cannot be matched with new panels, then replace all the panels in that room with new units to the Consultant's approval at no additional expense to Owner.
- .16 Materials and other equipment not required for re-use shall not be stored or sold from the site. Maintain the existing building in a weather and watertight condition at all times. Maintain security of existing building.
- .17 Upon completion of demolition, leave interior surfaces clean and dust free.

3.3 **MAKING GOOD**

- .1 Make good materials and finishes which are damaged or disturbed during the process of additions and reconstruction under the Contract. Where existing work is to be made good, match new work exactly with the old work in material, form, construction and finish unless otherwise noted or specified.
- .2 Preparation for new finishes:
 - .1 Remove existing finishes, including painting.
 - .2 Fill cracks and depressions with suitable filler and finish smooth, as recommended by the manufacturer of the new finishes.
 - .3 Grind protrusions level with substrates and finish smooth.

- .4 Remove all evidences of existing adhesive, grease, oil, soil and other encrustations of foreign material by washing, scraping and grinding if necessary.
- .5 Clean and prepare substrates to receive new work.

3.4 **CUTTING AND PATCHING**

- .1 Perform cutting, fitting, and patching to complete the Work. Do not cut, drill or sleeve load-bearing members without obtaining written approval for each condition.
- .2 Cut rigid materials using power saw or core drill. Pneumatic or impact tools not allowed.
- .3 Remove and replace defective and non-conforming work.
- .4 Perform work to avoid damage to other work. Prepare proper surfaces to receive patching and finishing.
- .5 Restore work with new products to match existing in accordance with Contract Documents.
- .6 Fit work airtight to pipes, sleeves, ducts, conduit, and other penetrations through surfaces.
- .7 At penetration of fire rated wall, ceiling, or floor construction, completely seal voids with fire rated material, full thickness of construction element.
- .8 Refinish surfaces to match adjacent finishes; for continuous surfaces refinish to nearest intersection; for an assembly, refinish entire unit.

END OF SECTION

DOOR HARDWARE

08 71 00

PROJECT:



TORONTO EAST HEALTH NETWORK

Outpatient Ophthalmology Clinic
20 Wynford Dr. Suite 310
North York, ON

ARCHITECT:

NORR

175 Bloor Street E.
North Tower, 15th Floor
Toronto, ON

Prepared By: Krystal Bacon

Date: October 14, 2025

Revised: October 17, 2025

November 5, 2025 Issued for Tender & Permit

November 19, 2025 Addendum #2

November 27, 2025

Architectural Hardware Finishes

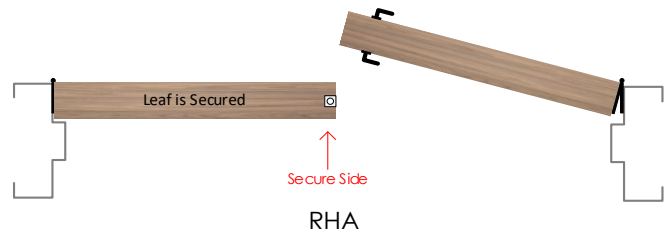
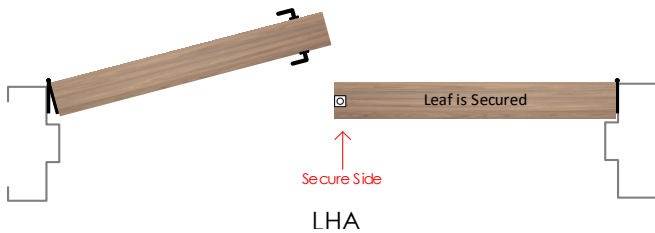
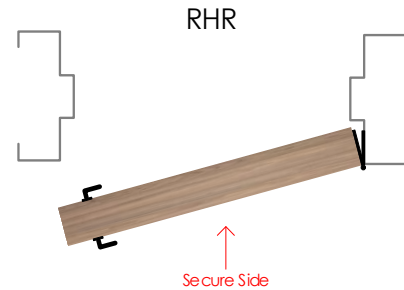
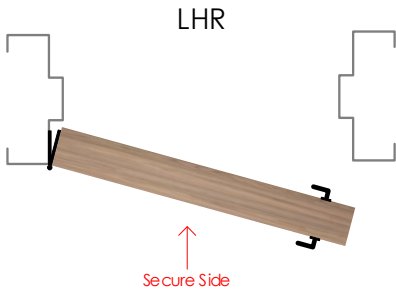
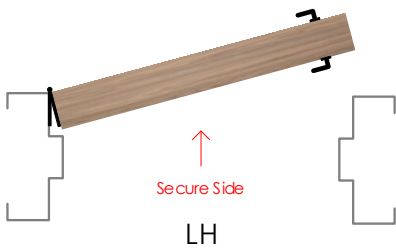
	Steel	Stainless Steel	Brass/Bronze	Aluminum	Paint/Powder Coat	US/CAN
Clear Anodized				628	689	US28
Satin Nickel	646		619	670		US15
Polished Nickel	645		618	669		US14
Satin Stainless Steel		630				US32D
Polished Stainless Steel		629				US32
Satin Chrome	652		626	702		US26D
Polished Chrome	651		625	672		US26
Satin Brass	633		606	667	678	US4
Polished Brass	632		605	666	677	US5
Satin Bronze	639		612	668	680	US10
Oil Rubbed Bronze	640		613	703	695	US10B
Flat Black / Anodized Black	631		622	671	693	US19

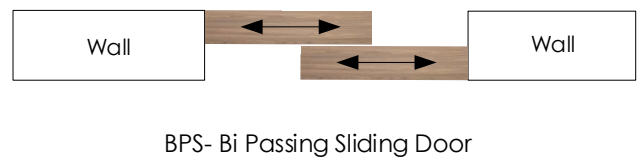
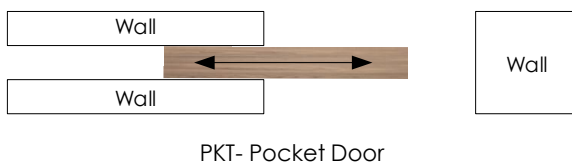
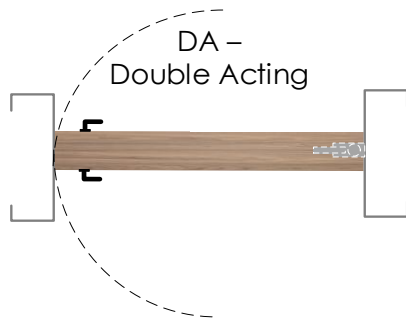
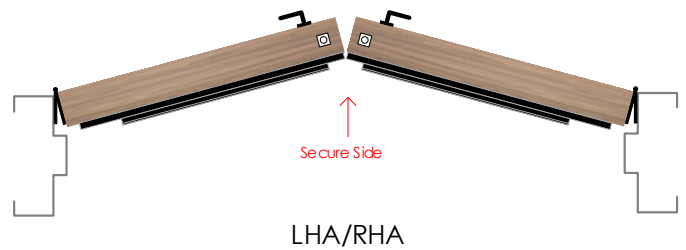
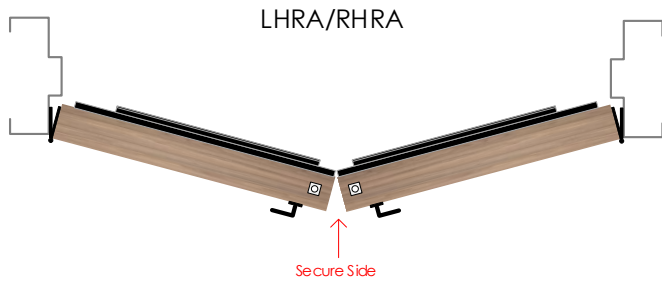
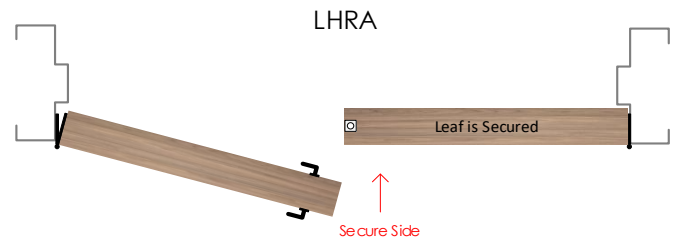
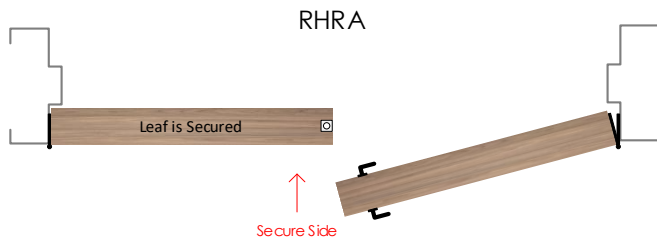
Door Handing's

Abbreviations

RH = Right Hand	RHA = Right Hand Active	SS = Single Slider
LH = Left Hand	LHA = Left Hand Active	BP = Bi-Parting Slider
RHR = Right Hand Reverse	RHA/LHA = Right & Left Hands Active	BF = Bi-Folding Slider
LHR = Left Hand Reverse	RHRA/LHRA = Right & Left Hand Reverse Active	TS = Telescopic Slider
RHRA = Right Hand Reverse Active	DA = Double Acting	PKT = Pocket Slider
LHRA = Left Hand Reverse Active	DE = Double Egress	

NOTE: The handing of a swing door is determined by placing yourself on the secured or keyed side of the door.





NOTE: Only those products / brands listed here are acceptable and should be used to form a bid price. No unsolicited products will be considered. If acceptable alternates are listed here those too can be used to form a bid price provided, they are exactly the same as the specified item. If using an alternate product to form a price it is the bidder's responsibility to ensure that product is identical in every way to the specified item. If no alternates are listed, no alternate products are acceptable.

[illegible]

Symbols



- Door has a fire rating and all associated hardware must have a fire label to suit. Must comply with local requirements.



- Door is automatic and is equipped with an auto operator. Door must meet local barrier free codes



- Door has an electrical requirement and requires power to be brought to the appropriate location above the door or to the latch, for either security or barrier free applications. Refer to security & electrical drawings for further information.



- Door requires security card access. Refer to security / electrical drawings for further information.

Abbreviations

Door:

HMD = Hollow Metal Door
IHMD = Insulated Hollow Metal Door
ALD = Aluminum Door
SSD = Stainless Steel Door
ISSD = Insulated Stainless Steel Frame
STL = Steel Door
IC-ALD = Insulated Clad Aluminum Door
SCWD = Solid Core Wood Door
HCWD = Hollow Core Wood Door
FGD = Frameless Glass Door
FRP = Fiberglass Reinforced Plastic Door
OHD = Overhead Door

Frame:

HMF = Hollow Metal Frame
ALF = Aluminum Frame
Cased Open HMF = Cased Open Hollow Metal Frame
SSF - Stainless Steel Frame
STL = Steel Frame
WDF = Wood Frame
Cased Open WDF = Cased Open Wood Frame
Cased Open Drywall = Cased Open Drywall

Fire Ratings:

0 HR – Zero Hour Fire Rating / Smoke Barrier
20 MIN – 20 Minute Fire Rating
¾ HR – 45 Minute Fire rating
1 ½ HR – 90 Minute Fire Rating
2 HR – 120 Minute Fire Rating
3 HR – 180 Minute Fire Rating

Disclaimer

Weblinks:

Weblinks do change from time to time as manufacturers move around their websites, please inform us if you have a nonfunctioning weblink.










HARDWARE SCHEDULE

November 27, 2025: added ADO & strike

Heading# 1

Opening Information					
Opening Type:	Single	Opening Size:	1220 x 2135 x 45	STC Rating	None
Door Material:	HMD	Frame Material:	HMF	Fire Rating	None

3	Total Openings							
1	Door#	2-101	Location:	Corridor 9	To	Minor Procedure #1	Handing:	LH
1	Door#	2-102	Location:	Corridor 9	To	Future Minor Procedure #2	Handing:	LH
1	Door#	2-103	Location:	Corridor 9	To	Minor Procedure #3	Handing:	LH

By Hardware Supplier					
3	Continuous Hinge	700 x 2108 x HT	630 / US32D / Satin Stainless Steel	Ives	
3	Passage Set	L9010 x 06A	626 / US26D / Satin Chrome	Schlage	
3	Electric Strike	1006CS	630 / US32D / Satin Stainless Steel	HES	
3	Overhead Stop	106S	630 / US32D / Satin Stainless Steel	Glynn Johnson	
3	Kickplate	K10A – 203 x 1182 x TAPE	630 / US32D / Satin Stainless Steel	Standard Metal	
3	Smoke / Sound Seal	W-66 x 5500	Black	KN Crowder	
By Automatic Operator Supplier					
3	Auto Operator	ED250-SA-FC-PRO-SGL-PULL-NH-CL-51-19	628 / US28 / Clear Anodized	Dormakaba	
6	Wave Buttons	CM-331/42SW-SGLR	630 / US32D / Satin Stainless Steel	Camden	
6	Surface Mount Box	CM-43CBLA	Black	Camden	









.....End of Heading.....

November 18, 2025: removed card reader, electric lock & power transfer

Heading# 2

Opening Information					
Opening Type:	Single	Opening Size:	965 x 2135 x 45	STC Rating	None
Door Material:	HMD	Frame Material:	HMF	Fire Rating	None

1	Total Openings							
1	Door#	2-104	Location:	Corridor 8	To	Staff Lounge 4	Handing:	LH

By Hardware Supplier					
1	Continuous Hinge	700 x 2108 x HT x EPT	630 / US32D / Satin Stainless Steel	Ives	
+	Power Transfer	EPT-10	628 / US28 / Clear Anodized	Von Duprin	
+	Electric Storeroom Lockset	RX-L9092 EU x 06A x KA	626 / US26D / Satin Chrome	Schlage	
1	Storeroom Lockset	L9080 x 06A x KA	626 / US26D / Satin Chrome	Schlage	
1	Track Closer w Drop Plate	4041XPT-REG x 4040XP-18G Drop Plate (LCN ST 3182)	689 / US28 / Painted Aluminum	LCN	
1	Overhead Stop	104S	630 / US32D / Satin Stainless Steel	Glynn Johnson	
1	Kickplate	K10A – 203 x 927 x TAPE	630 / US32D / Satin Stainless Steel	Standard Metal	
1	Smoke / Sound Seal	W-66 x 5300	Black	KN Crowder	
By Security Supplier					
+	Card Reader	To Suit Building System, By Security Supplier			
+	Door Contact	To Suit Building System, By Security Supplier			
+	Access Controller	To Suit Building System, By Security Supplier			
x	Rex Sensor	In Lockset, Security to Wire			
+	Power Supply	In Central IT Location			
By Owner					
1	Permanent Cylinder	By Hospital Locksmith			








.....End of Heading.....

November 18, 2025: moved door to heading 3b

Heading# 3a

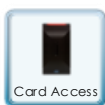
Opening Information					
Opening Type:	Single	Opening Size:	965 x 2135 x 45	STC Rating	None
Door Material:	HMD	Frame Material:	HMF	Fire Rating	None

1	Total Openings							
1	Door#	2-105	Location:	Staff Lounge 4	To	Washroom	Handing:	LH
+	Door#	2-106	Location:	Staff Lounge 4	To	Change Room 6	Handing:	RH

By Hardware Supplier					
1	Continuous Hinge	700 x 2108 x HT	630 / US32D / Satin Stainless Steel	Ives	
1	Privacy Set w Indicator	L9040 x 06A x OS-LOC	626 / US26D / Satin Chrome	Schlage	
1	Track Closer w Drop Plate	4041XPT-REG x 4040XP-18G Drop Plate (LCN ST 3182)	689 / US28 / Painted Aluminum	LCN	
1	Overhead Stop	104S	630 / US32D / Satin Stainless Steel	Glynn Johnson	
1	Kickplate	K10A – 203 x 927 x TAPE	630 / US32D / Satin Stainless Steel	Standard Metal	
1	Smoke / Sound Seal	W-66 x 5300	Black	KN Crowder	
1	Door Bottom	CT-54 x 965	719 Milled Aluminum	KN Crowder	

-----End of Heading-----

November 18, 2025: added card reader & supporting hardware



Heading#

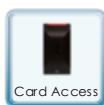
3b

Opening Information					
Opening Type:	Single	Opening Size:	965 x 2135 x 45	STC Rating	None
Door Material:	HMD	Frame Material:	HMF	Fire Rating	None

2	Total Openings							
1	Door#	2-106	Location:	Staff Lounge 4	To	Change Room 6	Handing:	RH

By Hardware Supplier					
1	Continuous Hinge	700 x 2108 x HT x EPT	630 / US32D / Satin Stainless Steel	Ives	
+	Privacy Set w Indicator	L9040 x 06A x OS LOC	626 / US26D / Satin Chrome	Schlage	
1	Power Transfer	EPT-10	628 / US28 / Clear Anodized	Von Duprin	
1	Electric Storeroom Lockset	RX-L9092 EU x 06A x KA	626 / US26D / Satin Chrome	Schlage	
1	Track Closer w Drop Plate	4041XPT-REG x 4040XP-18G Drop Plate (LCN ST 3182)	689 / US28 / Painted Aluminum	LCN	
1	Overhead Stop	104S	630 / US32D / Satin Stainless Steel	Glynn Johnson	
1	Kickplate	K10A – 203 x 927 x TAPE	630 / US32D / Satin Stainless Steel	Standard Metal	
1	Smoke / Sound Seal	W-66 x 5300	Black	KN Crowder	
1	Door Bottom	CT-54 x 965	719 Milled Aluminum	KN Crowder	
By Security Supplier					
1	Card Reader	To Suit Building System, By Security Supplier			
1	Door Contact	To Suit Building System, By Security Supplier			
1	Access Controller	To Suit Building System, By Security Supplier			
x	Rex Sensor	In Lockset, Security to Wire			
1	Power Supply	In Central IT Location			
By Owner					
1	Permanent Cylinder	By Hospital Locksmith			

-----End of Heading-----



Heading#

4a

Opening Information

Opening Type:	Single	Opening Size:	1065 x 2135 x 45	STC Rating	None
Door Material:	HMD	Frame Material:	HMF	Fire Rating	None

1	Total Openings							
1	Door#	2-115	Location:	Team Station 27	To	Med Room 15	Handing:	LH

By Hardware Supplier

1	Continuous Hinge	700 x 2108 x HT x EPT	630 / US32D / Satin Stainless Steel	Ives	
1	Storeroom Lockset	L9080 x 06A x KA	626 / US26D / Satin Chrome	Schlage	
1	Electric Strike	1006CS	630 / US32D / Satin Stainless Steel	HES	
1	Overhead Stop	105S	630 / US32D / Satin Stainless Steel	Glynn Johnson	
1	Armour Plate	K10A – 864 x 1027 x TAPE	630 / US32D / Satin Stainless Steel	Standard Metal	
1	Smoke / Sound Seal	W-66 x 5400	Black	KN Crowder	
1	Door Bottom	CT-54 x 1065	719 Milled Aluminum	KN Crowder	

By Automatic Operator Supplier

1	Auto Operator	ED250-SA-FC-PRO-SGL-PULL-NH-CL-45-19	628 / US28 / Clear Anodized	Dormakaba	
2	Wave Buttons	CM-331/42SW-SGLR	630 / US32D / Satin Stainless Steel	Camden	
2	Surface Mount Box	CM-43CBLA	Black	Camden	
1	Logic Relay	CX-33		Camden	

By Security Supplier

1	Card Reader	To Suit Building System, By Security Supplier			
1	Door Contact	To Suit Building System, By Security Supplier			
1	Access Controller	To Suit Building System, By Security Supplier			
1	Rex Sensor	To Suit Building System, By Security Supplier			
1	Power Supply	In Central IT Location			

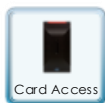
Notes:

- 120VAC is required at the head of the door for all barrier free door operators, 15A dedicated circuit. Wall/Frame must be reinforced for automatic operator mounting, all conduit with pull cords to back boxes for actuators, lights / sounders are to be provided by the electrical contractor. Electrical contractor to provide low voltage wires to actuator locations as required.

-
- Electrical contractor to confirm quantity of wires and wire locations with auto door operator supplier prior to pulling wires.

-----End of Heading-----

November 18, 2025: removed card reader & relay



Heading#

4b

Opening Information

Opening Type:	Single	Opening Size:	1115 x 2135 x 45	STC Rating	None
Door Material:	HMD	Frame Material:	HMF	Fire Rating	None

3	Total Openings							
1	Door#	2-107	Location:	Corridor 8	To	Soiled Utility Room 7	Handing:	LH
1	Door#	2-110	Location:	Corridor 9	To	Clean Supply Room 10	Handing:	LH
1	Door#	2-111	Location:	Corridor 9	To	Clean Equipment Storage 11	Handing:	RH

By Hardware Supplier

3	Continuous Hinge	700 x 2108 x HT x EPT	630 / US32D / Satin Stainless Steel	Ives	
3	Storeroom Lockset	L9080 x 06A x KA	626 / US26D / Satin Chrome	Schlage	
3	Electric Strike	1006CS	630 / US32D / Satin Stainless Steel	HES	
3	Overhead Stop	105S	630 / US32D / Satin Stainless Steel	Glynn Johnson	
3	Armour Plate	K10A – 864 x 1080 x TAPE	630 / US32D / Satin Stainless Steel	Standard Metal	
3	Smoke / Sound Seal	W-66 x 5400	Black	KN Crowder	
3	Door Bottom	CT-54 x 1115	719 Milled Aluminum	KN Crowder	

By Automatic Operator Supplier

3	Auto Operator	ED250-SA-FC-PRO-SGL-PULL-NH-CL-47-19	628 / US28 / Clear Anodized	Dormakaba	
6	Wave Buttons	CM-331/42SW-SGLR	630 / US32D / Satin Stainless Steel	Camden	
6	Surface Mount Box	CM-43CBLA	Black	Camden	
3	Logic Relay	CX-33		Camden	

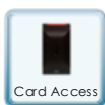
By Security Supplier

3	Card Reader	To Suit Building System, By Security Supplier			
3	Door Contact	To Suit Building System, By Security Supplier			
3	Access Controller	To Suit Building System, By Security Supplier			
3	Rex Sensor	To Suit Building System, By Security Supplier			
3	Power Supply	In Central IT Location			

Notes:

- 120VAC is required at the head of the door for all barrier free door operators, 15A dedicated circuit. Wall/Frame must be reinforced for automatic operator mounting, all conduit with pull cords to back boxes for actuators, lights / sounders are to be provided by the electrical contractor. Electrical contractor to provide low voltage wires to actuator locations as required.
- Electrical contractor to confirm quantity of wires and wire locations with auto door operator supplier prior to pulling wires.

-----End of Heading-----



Heading#

5

Opening Information

Opening Type:	Single	Opening Size:	1220 x 2135 x 45	STC Rating	None
Door Material:	HMD	Frame Material:	HMF	Fire Rating	None

1 Total Openings

1	Door#	2-108A	Location:	Corridor 9	To	Corridor 8	Handing:	RH
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By Hardware Supplier

1	Continuous Hinge	700 x 2108 x HT x EPT	630 / US32D / Satin Stainless Steel	Ives	
1	Power Transfer	EPT-10	628 / US28 / Clear Anodized	Von Duprin	
1	Electric Storeroom Lockset	RX-L9092 EU x 06A x KA	626 / US26D / Satin Chrome	Schlage	
1	Track Closer w Drop Plate	4041XPT-REG x 4040XP-18G Drop Plate (LCN ST 3182)	689 / US28 / Painted Aluminum	LCN	
1	Overhead Stop	106S	630 / US32D / Satin Stainless Steel	Glynn Johnson	
1	Armour Plate	K10A – 864 x 1156 x TAPE	630 / US32D / Satin Stainless Steel	Standard Metal	
1	Armour Plate	K10A – 864 x 1170 x TAPE	630 / US32D / Satin Stainless Steel	Standard Metal	
1	Edge Guard	K38 x 2135 (cutout for latch)	630 / US32D / Satin Stainless Steel	Standard Metal	
1	Smoke / Sound Seal	W-66 x 5500	Black	KN Crowder	

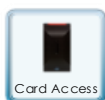
By Security Supplier

1	Card Reader	To Suit Building System, By Security Supplier			
1	Door Contact	To Suit Building System, By Security Supplier			
1	Access Controller	To Suit Building System, By Security Supplier			
x	Rex Sensor	In Lockset, Security to Wire			
1	Power Supply	In Central IT Location			

By Owner

1	Permanent Cylinder	By Hospital Locksmith			
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-----End of Heading-----



Heading#

6

Opening Information

Opening Type:	Single	Opening Size:	1065 x 2135 x 45	STC Rating	None
Door Material:	HMD	Frame Material:	HMF	Fire Rating	None

1 Total Openings

1	Door#	2-108B	Location:	Corridor 32	To	Corridor 8	Handing:	LH
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By Hardware Supplier

1	Continuous Hinge	700 x 2108 x HT	630 / US32D / Satin Stainless Steel	Ives	
1	Storeroom Lockset	L9080 x 06A x KA	626 / US26D / Satin Chrome	Schlage	
1	Electric Strike	1006CS	630 / US32D / Satin Stainless Steel	HES	
1	Overhead Stop	105S	630 / US32D / Satin Stainless Steel	Glynn Johnson	
1	Armour Plate	K10A – 203 x 1002 x TAPE	630 / US32D / Satin Stainless Steel	Standard Metal	
1	Armour Plate	K10A – 203 x 1014 x TAPE	630 / US32D / Satin Stainless Steel	Standard Metal	
1	Edge Guard	K38 x 2135 (cutout for latch)	630 / US32D / Satin Stainless Steel	Standard Metal	
1	Smoke / Sound Seal	W-66 x 5400	Black	KN Crowder	
1	Door Sweep	CT-54 x 1065	719 Milled Aluminum	KN Crowder	

By Automatic Operator Supplier

1	Auto Operator	ED250-SA-FC-PRO-SGL-PULL-NH-CL-45-19	628 / US28 / Clear Anodized	Dormakaba	
2	Wave Buttons	CM-331/42SW-SGLR	630 / US32D / Satin Stainless Steel	Camden	
2	Surface Mount Box	CM-43CBLA	Black	Camden	
1	Logic Relay	CX-33		Camden	

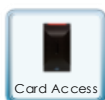
By Security Supplier

1	Card Reader	To Suit Building System, By Security Supplier			
1	Door Contact	To Suit Building System, By Security Supplier			
1	Access Controller	To Suit Building System, By Security Supplier			
1	Rex Sensor	To Suit Building System, By Security Supplier			
1	Power Supply	In Central IT Location			

Notes:

- 120VAC is required at the head of the door for all barrier free door operators, 15A dedicated circuit. Wall/Frame must be reinforced for automatic operator mounting, all conduit with pull cords to back boxes for actuators, lights / sounders are to be provided by the electrical contractor. Electrical contractor to provide low voltage wires to actuator locations as required.
- Electrical contractor to confirm quantity of wires and wire locations with auto door operator supplier prior to pulling wires.

-----End of Heading-----



Heading#

7

Opening Information

Opening Type:	Single	Opening Size:	1220 x 2135 x 45	STC Rating	None
Door Material:	HMD	Frame Material:	HMF	Fire Rating	None

1 Total Openings

1	Door#	2-109	Location:	Corridor 32	From	Corridor 9	Handing:	LHR
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By Hardware Supplier

1	Continuous Hinge	700 x 2108 x HT	630 / US32D / Satin Stainless Steel	Ives	
1	Storeroom Lockset	L9080 x 06A x KA	626 / US26D / Satin Chrome	Schlage	
1	Electric Strike	1006CS	630 / US32D / Satin Stainless Steel	HES	
1	Overhead Stop	106S	630 / US32D / Satin Stainless Steel	Glynn Johnson	
1	Armour Plate	K10A – 864 x 1156 x TAPE	630 / US32D / Satin Stainless Steel	Standard Metal	
1	Armour Plate	K10A – 864 x 1170 x TAPE	630 / US32D / Satin Stainless Steel	Standard Metal	
1	Edge Guard	K38 x 2135 (cutout for latch)	630 / US32D / Satin Stainless Steel	Standard Metal	
1	Smoke / Sound Seal	W-66 x 5500	Black	KN Crowder	
1	Door Sweep	W-24S x 1220	719 Milled Aluminum	KN Crowder	

By Automatic Operator Supplier

1	Auto Operator	ED250-SA-FC-PRO-SGL-PUSH-NH-CL-51-19	628 / US28 / Clear Anodized	Dormakaba	
2	Wave Buttons	CM-331/42SW-SGLR	630 / US32D / Satin Stainless Steel	Camden	
2	Surface Mount Box	CM-43CBLA	Black	Camden	
1	Logic Relay	CX-33		Camden	

By Security Supplier

1	Card Reader	To Suit Building System, By Security Supplier			
1	Door Contact	To Suit Building System, By Security Supplier			
1	Access Controller	To Suit Building System, By Security Supplier			
1	Rex Sensor	To Suit Building System, By Security Supplier			
1	Power Supply	In Central IT Location			

Notes:

- 120VAC is required at the head of the door for all barrier free door operators, 15A dedicated circuit. Wall/Frame must be reinforced for automatic operator mounting, all conduit with pull cords to back boxes for actuators, lights / sounders are to be provided by the electrical contractor. Electrical contractor to provide low voltage wires to actuator locations as required.
- Electrical contractor to confirm quantity of wires and wire locations with auto door operator supplier prior to pulling wires.


-----End of Heading-----

Heading# 8

Opening Information					
Opening Type:	Existing	Opening Size:	Existing	STC Rating	None
Door Material:	Existing	Frame Material:	Existing	Fire Rating	None

1	Total Openings							
1	Door#	2-112	Location:	Corridor 32	To	Housekeeping 12	Handing:	LH

ALL OTHER EXISTING HARDWARE TO REMAIN / REUSE

By Hardware Supplier					
1	Storeroom Lockset	L9080 x 06A x KA	626 / US26D / Satin Chrome	Schlage	
By Owner					
1	Permanent Cylinder	By Hospital Locksmith			

.....End of Heading.....



Heading#

9

Opening Information

Opening Type:	Single	Opening Size:	1065 x 2135 x 45	STC Rating	None
Door Material:	HMD	Frame Material:	HMF	Fire Rating	None

1 Total Openings

1	Door#	2-113	Location:	Corridor 30	To	Universal WC 13	Handing:	LH
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By Hardware Supplier

1	Continuous Hinge	700 x 2108 x HT	630 / US32D / Satin Stainless Steel	Ives	
1	Storeroom Lockset	L9080 x 06A x KA	626 / US26D / Satin Chrome	Schlage	
1	Electric Strike	1006CS	630 / US32D / Satin Stainless Steel	HES	
1	Overhead Stop	105S	630 / US32D / Satin Stainless Steel	Glynn Johnson	
1	Kickplate	K10A – 203 x 1027 x TAPE	630 / US32D / Satin Stainless Steel	Standard Metal	
1	Kickplate	K10A – 203 x 1040 x TAPE	630 / US32D / Satin Stainless Steel	Standard Metal	
1	Smoke / Sound Seal	W-66 x 5400	Black	KN Crowder	
1	Door Bottom	CT-54 x 1065	719 Milled Aluminum	KN Crowder	

By Automatic Operator Supplier

1	Auto Operator	ED100-SA-FC-PRO-SGL-PULL-NH-CL-45-19	628 / US28 / Clear Anodized	Dormakaba	
1	Wave to Lock Kit	CX-WC16	630 / US32D / Satin Stainless Steel	Camden	
1	Emergency Call Kit	CX-WEC10K2		Camden	

By Owner

1	Permanent Cylinder	By Hospital Locksmith			
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Notes:







- 120VAC is required at the head of the door for all barrier free door operators, 15A dedicated circuit. Wall/Frame must be reinforced for automatic operator mounting, all conduit with pull cords to back boxes for actuators, lights / sounders are to be provided by the electrical contractor. Electrical contractor to provide low voltage wires to actuator locations as required.
- Electrical contractor to confirm quantity of wires and wire locations with auto door operator supplier prior to pulling wires.

-----End of Heading-----

Heading# 10

Opening Information					
Opening Type:	Single	Opening Size:	1065 x 2135 x 45	STC Rating	None
Door Material:	HMD	Frame Material:	HMF	Fire Rating	None

1	Total Openings							
1	Door#	2-114	Location:	Corridor 30	To	IT Room 14	Handing:	LH





By Hardware Supplier					
1	Continuous Hinge	700 x 2108 x HT	630 / US32D / Satin Stainless Steel	Ives	
1	Storeroom Lockset	L9080 x 06A x KA	626 / US26D / Satin Chrome	Schlage	
1	Track Closer w Drop Plate	4041XPT-REG x 4040XP-18G Drop Plate (LCN ST 3182)	689 / US28 / Painted Aluminum	LCN	
1	Overhead Stop	105S	630 / US32D / Satin Stainless Steel	Glynn Johnson	
1	Kickplate	K10A – 864 x 1027 x TAPE	630 / US32D / Satin Stainless Steel	Standard Metal	
1	Smoke / Sound Seal	W-66 x 5400	Black	KN Crowder	
By Owner					
1	Permanent Cylinder	By Hospital Locksmith			

-----End of Heading-----

Heading# 11

Opening Information					
Opening Type:	Single	Opening Size:	965 x 2135 x 45	STC Rating	None
Door Material:	HMD	Frame Material:	HMF	Fire Rating	None

2	Total Openings							
1	Door#	2-116	Location:	Corridor 30	To	Consult Room 16	Handing:	LH
1	Door#	2-118	Location:	Corridor 30	To	Eye Exam Room 18	Handing:	RH

By Hardware Supplier					
2	Continuous Hinge	700 x 2108 x HT	630 / US32D / Satin Stainless Steel	Ives	
2	Passage Set	L9010 x 06A	626 / US26D / Satin Chrome	Schlage	
2	Overhead Stop	104S	630 / US32D / Satin Stainless Steel	Glynn Johnson	
2	Kickplate	K10A – 203 x 927 x TAPE	630 / US32D / Satin Stainless Steel	Standard Metal	
2	Smoke / Sound Seal	W-66 x 5300	Black	KN Crowder	

.....End of Heading.....



Heading#

12

Opening Information

Opening Type:	Single	Opening Size:	965 x 2135 x 45	STC Rating	None
Door Material:	HMD	Frame Material:	HMF	Fire Rating	None

1 Total Openings

1	Door#	2-117	Location:	Corridor 30	To	Patient WC 17	Handing:	RH
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By Hardware Supplier

1	Continuous Hinge	700 x 2108 x HT	630 / US32D / Satin Stainless Steel	Ives	
1	Storeroom Lockset	L9080 x 06A x KA	626 / US26D / Satin Chrome	Schlage	
1	Electric Strike	1006CS	630 / US32D / Satin Stainless Steel	HES	
1	Overhead Stop	104S	630 / US32D / Satin Stainless Steel	Glynn Johnson	
1	Kickplate	K10A – 203 x 927 x TAPE	630 / US32D / Satin Stainless Steel	Standard Metal	
1	Kickplate	K10A – 203 x 940 x TAPE	630 / US32D / Satin Stainless Steel	Standard Metal	
1	Smoke / Sound Seal	W-66 x 5300	Black	KN Crowder	
1	Door Bottom	CT-54 x 965	719 Milled Aluminum	KN Crowder	

By Automatic Operator Supplier

1	Auto Operator	ED100-SA-FC-PRO-SGL-PULL-NH-CL-41-19	628 / US28 / Clear Anodized	Dormakaba	
1	Wave to Lock Kit	CX-WC16	630 / US32D / Satin Stainless Steel	Camden	
1	Emergency Call Kit	CX-WEC10K2		Camden	

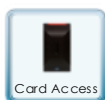
By Owner

1	Permanent Cylinder	By Hospital Locksmith			
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Notes:

- 120VAC is required at the head of the door for all barrier free door operators, 15A dedicated circuit. Wall/Frame must be reinforced for automatic operator mounting, all conduit with pull cords to back boxes for actuators, lights / sounders are to be provided by the electrical contractor. Electrical contractor to provide low voltage wires to actuator locations as required.
- Electrical contractor to confirm quantity of wires and wire locations with auto door operator supplier prior to pulling wires.

-----End of Heading-----



Heading#

13

Opening Information

Opening Type:	Single	Opening Size:	1220 x 2135 x 45	STC Rating	None
Door Material:	HMD	Frame Material:	HMF	Fire Rating	None

2 Total Openings

1	Door#	2-127A	Location:	Corridor 32	To	Corridor 30	Handing:	RH
1	Door#	2-127B	Location:	Corridor 32	To	Corridor 30	Handing:	LH

By Hardware Supplier

2	Continuous Hinge	700 x 2108 x HT x EPT	630 / US32D / Satin Stainless Steel	Ives	
2	Power Transfer	EPT-10	628 / US28 / Clear Anodized	Von Duprin	
2	Electric Storeroom Lockset	RX-L9092 EU x 06A x KA	626 / US26D / Satin Chrome	Schlage	
2	Track Closer w Hold Open & Drop Plate	4041 XPT-HBMP x 4040XP-18G Drop Plate (LCN ST 3182)	689 / US28 / Painted Aluminum	LCN	
2	Overhead Stop	106S	630 / US32D / Satin Stainless Steel	Glynn Johnson	
2	Smoke / Sound Seal	W-66 x 5500	Black	KN Crowder	

By Security Supplier

2	Card Reader	To Suit Building System, By Security Supplier			
2	Door Contact	To Suit Building System, By Security Supplier			
2	Access Controller	To Suit Building System, By Security Supplier			
x	Rex Sensor	In Lockset, Security to Wire			
2	Power Supply	In Central IT Location			


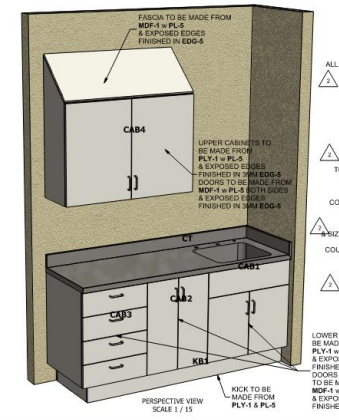

By Owner

2	Permanent Cylinder	By Hospital Locksmith			
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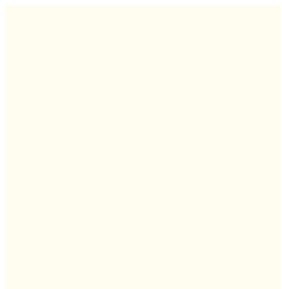


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END OF SCHEDULE


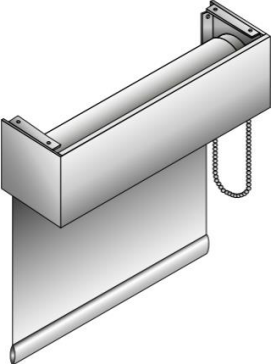
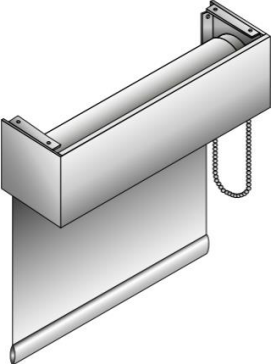
NOTE: The application / location for the materials indicated is not limited to the list below and is to be used in conjunction with and may be supplemented by, the Specifications, Schedules and Drawings. Refer to Specifications, Schedules and Drawings for full extent of material application and additional material types.

CODE	ITEM	DESCRIPTION	APPLICATION / LOCATION	SAMPLE IMAGE
DIVISION 05 – METALS				
ST-12	Custom Wall-mounted Stainless-Steel Counter & Double Sink	16 GA. 304 Brushed Stainless Steel	Soiled Utility Room	
ST-15	Stainless-Steel Counter & Sink	16GA. #4B Brushed Stainless Steel 180 Grit	Medication Room	<div></div>
DIVISION 06 – WOOD, PLASTICS AND COMPOSITES				


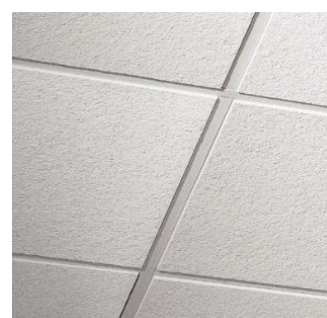
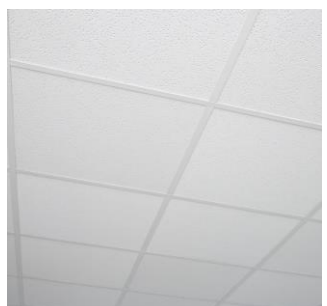
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CODE	ITEM	DESCRIPTION	APPLICATION / LOCATION	SAMPLE IMAGE
SWP-x	Wall Protection	Manufacturer: Construction Specialties Product: 0.060" Acrovyn Wall Covering w/ Acrovyn Trims Colour: 933 Mission White	See Finishes Plan	
PLAM-1	Plastic Laminate	Manufacturer: Wilsonart Code #: D427-60 Colour: Linen	Medication Room, Staff Lounge	
PLAM-2	Plastic Laminate	Manufacturer: Wilsonart Code #: 8251 Colour: Clearwater Oak Finish: Matte Finish	Team Station Change RM Bench	
DIVISION 08- OPENINGS				
HP-1	Cabinet Hardware Pull	Manufacturer: Amerock Product: Wire Pulls 3-3/4 inch (96mm) Center-to-Center Code #: BP76313CS26D Material: Carbon Steel Finish: Brushed Chrome		

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CODE	ITEM	DESCRIPTION	APPLICATION / LOCATION	SAMPLE IMAGE
FLM-1	Applied Film	Manufacturer: 3M™ Product: Privacy Film, 2 mil (0.05 mm) Code #: ID ID 7100055482 UPC 00051115574764 L: 100' x W: 60" Finish: Matte	Existing Windows	
RS-1	Roller Shade	Manufacturer: Light Harvesting Product: LHSS 150 -Chain Operated Roller Shade System – Fascia Openness 3% Color: 002002 white	All Windows except Procedure Rooms (Openness 3%)	
RS-2	Roller Shade	Manufacturer: Light Harvesting Product: LHSS 150 -Chain Operated Roller Shade System – Fascia Blackout Fabric 00	Procedure Rooms	
DIVISION 09 - FINISHES				





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CODE	ITEM	DESCRIPTION	APPLICATION / LOCATION	SAMPLE IMAGE
SSM-1	Solid Surface	Manufacturer: DuPont Product: Corian® Solid Surface Colour: Sand Storm	Staff Lounge Countertop	
ACT-1	Acoustic Ceiling Tile	Manufacturer: USG Ceiling Solutions Product: USG DONN® BRAND DX®/DXL™ Halcyon™ Acoustical Panels Acoustical Suspension System 2'x4' Colour: Coordinating Matte White 3756	See RCP	
ACT-2	Acoustic Ceiling Tile	Manufacturer: USG Ceiling Solutions Product: USG DONN® BRAND DX®/DXL™ Clean Room™ Acoustical Panels Acoustical Suspension System 2'x4' Colour: Coordinating Matte White 3756	See RCP Procedure Rooms	
GWB-1	Gypsum Board Ceiling	Manufacturer: CGC Product: Sheetrock Brand Ultralight Panels 13mm Framing per specification	See RCP	





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CODE	ITEM	DESCRIPTION	APPLICATION / LOCATION	SAMPLE IMAGE
RSF-1	Resilient Sheet Flooring and Cove Base	Manufacturer: Tarkett Product: IQ OPTIMA Code #: 245 Colour: FOGGY SHORES WG	See Finishes Plan	
RSF-2	Resilient Sheet Flooring and Cove Base	Manufacturer: Tarkett Product: IQ OPTIMA Code #: 260 COLOUR: SHARKTALE WG	See Finishes Plan	
PT-1	Paint	Manufacturer: PPG (Dulux) Product: Paint Code #: PPG1020-1 Colour: Atrium White	All painted walls/ceilings where indicated	
PT-2	Paint	Manufacturer: PPG (Dulux) Product: Paint Code #: PPG1040-4 Colour: How Handsome	Accent Paint Finish, See Finishes Plan	

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CODE	ITEM	DESCRIPTION	APPLICATION / LOCATION	SAMPLE IMAGE
TS-1	Transition Strip	Schlüter®- VINPRO-T T-shaped profile made of anodised aluminium, which is retrofitted to create transitions between adjoining resilient floor coverings of the same height (e.g. LVT flooring and laminate, parquet etc.). Color: Brushed chrome anodised aluminium	Corridors (where new flooring meets existing)	
DIVISION 10 - SPECIALTIES				
CG-1	Corner Guard	Manufacturer: Construction Specialties Product: Acrovyn® Corner Guard. with a 1/4" (6.4mm) radius and 2" (50.8mm) legs. Code #: SSM-25N Colour: 933 Mission White		
CR-1	Crash rail	Manufacturer: Construction Specialties Product: Acrovyn® Solid Crash Rail Code #: SCR-40N Colour: 933 Mission White		
SD-1	Surface Mounted Soap Dispenser	Manufacturer: PURELL Product: ES4 Push-Style 5.51"x3.90"x9.33"	See drawings.	





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CODE	ITEM	DESCRIPTION	APPLICATION / LOCATION	SAMPLE IMAGE
HSD-1	Hand Sanitizer	Manufacturer: PURELL Product: ES4 Push-Style 5.51"x3.88"x14.12"	See drawings.	
PTD-1	Surface Mounted Paper Towel dispenser	Manufacturer: Cascades PRO Product: Mechanical No-Touch Roll Towel Dispenser Code #: C345 Colour: White	Washrooms	
TPH-1	Surface Mounted Double-roll Toilet Paper Holder	Manufacturer: Cascades PRO Product: Tandem Jumbo Roll Bath Tissue Dispenser, Double Roll, Code #: C381 Colour: White	Washrooms	
MIR-1	Stainless Steel Channel Frame Mirrors	Manufacturer: American Specialties, Inc. Product: 0620 , Channel Frame Mirror Finish: Stainless Steel Size: Height: 30" Width: 18"	Washrooms	

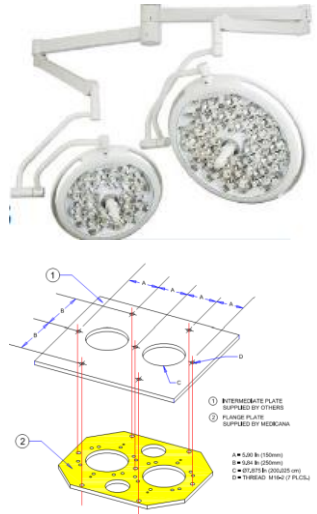


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CODE	ITEM	DESCRIPTION	APPLICATION / LOCATION	SAMPLE IMAGE
<u>MIR-2</u>	<u>Stainless Steel Tilt Mirrors</u>	<u>Manufacturer: American Specialties, Inc.</u> <u>Product: 0535-1830 Fixed Tilt Mirror</u> <u>Finish: Stainless Steel</u> <u>Size: Height: 30" Width: 18"</u>	<u>Universal Washroom</u>	
<u>BCS-1</u>	<u>Baby Changing Station</u>	<u>Manufacturer: American Specialties, Inc.</u> <u>Product: 9013-9 Surface Mounted</u> <u>Finish: Stainless Steel</u>	<u>Universal Washroom</u>	
<u>ACS-1</u>	<u>Adult Changing Station</u>	<u>Manufacturer: Pressalit</u> <u>Product: SCT 3000 - Powered height adjustable</u> <u>Finish: Graphite Gray</u> <u>Size: 55 1/2" length (1410mm)</u>	<u>Universal Washroom</u>	
<u>SLF-1</u>	<u>Shelf</u>	<u>Manufacturer: American Specialties, Inc.</u> <u>Product: 0692- 518 Surface Mounted Shelf,</u> <u>Finish: Stainless Steel</u> <u>Size: 5" deep x 18" long (127 x 457 mm)</u>	<u>Universal Washroom</u>	
CH-1	Coat Hook	Manufacturer: American Specialties, Inc. Product: Single Robe Hook Code #: 7340-S Colour and Finish: Satin #4 Stainless Steel	Washrooms	

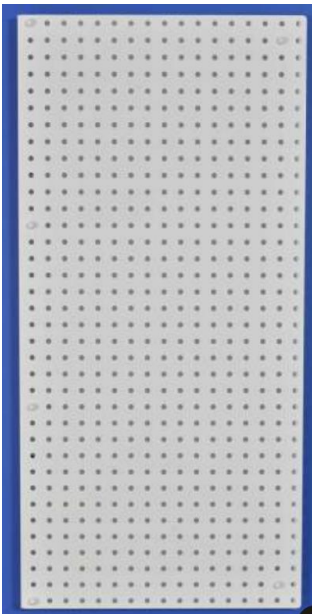


NOTE: The application / location for the materials indicated is not limited to the list below and is to be used in conjunction with and may be supplemented by, the Specifications, Schedules and Drawings. Refer to Specifications, Schedules and Drawings for full extent of material application and additional material types.

CODE	ITEM	DESCRIPTION	APPLICATION / LOCATION	SAMPLE IMAGE
GRB-1	Grab Bar	Manufacturer: American Specialties, Inc. Product: 1-1/2" diameter [ø38] grab bar with snap-on flange covers Code #: 3800 Peened Option Finish: Stainless Steel Size: Width: 24"	Washrooms	
GRB-3	Grab Bar	Manufacturer: American Specialties, Inc. Product: 1-1/2" diameter [ø38] grab bar with snap-on flange covers Code #: 3800 Peened Option Finish: Stainless Steel Size: Height: 30" Width: 30"	Washrooms	
GRB-5	Grab Bar	Manufacturer: Frost Product: Swing Up Grab Bar Code #: 1055-S Finish: Stainless Steel	Washrooms	
LCKR-1	Lockers	Manufacturer: Hadrian Product: Corridor (Emperor) Lockers Sloping Top Single Tier: W15"xD18"xH60" Code #: 541 Extra White		

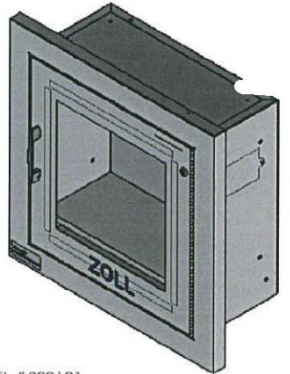


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CODE	ITEM	DESCRIPTION	APPLICATION / LOCATION	SAMPLE IMAGE
PI-1	Surgical Light & Ceiling Mounting Plate	Manufacturer: Medica Product: Flex Lux Exam & Procedure Light Flex Lux 80 LED Ceiling Mounting Plate	Procedure Rooms	
WMW	Wall Mounted Workstation	Manufacturer: Amico Product: Falcon Computer Workstation Falcon with SideKick Secondary Surface	Procedure Rooms	
TV	Television & Bracket	Manufacturer: Samsung Product: Crystal UHD Signage QMC Series TV Bracket EATON. TRIPP LITE Series Heavy-Duty Fixed Security TV Wall Mount for 37-80" Televisions & Monitors - Flat/Curved, UL Certified MODEL NUMBER: DWFSC3780MUL	Waiting Area	

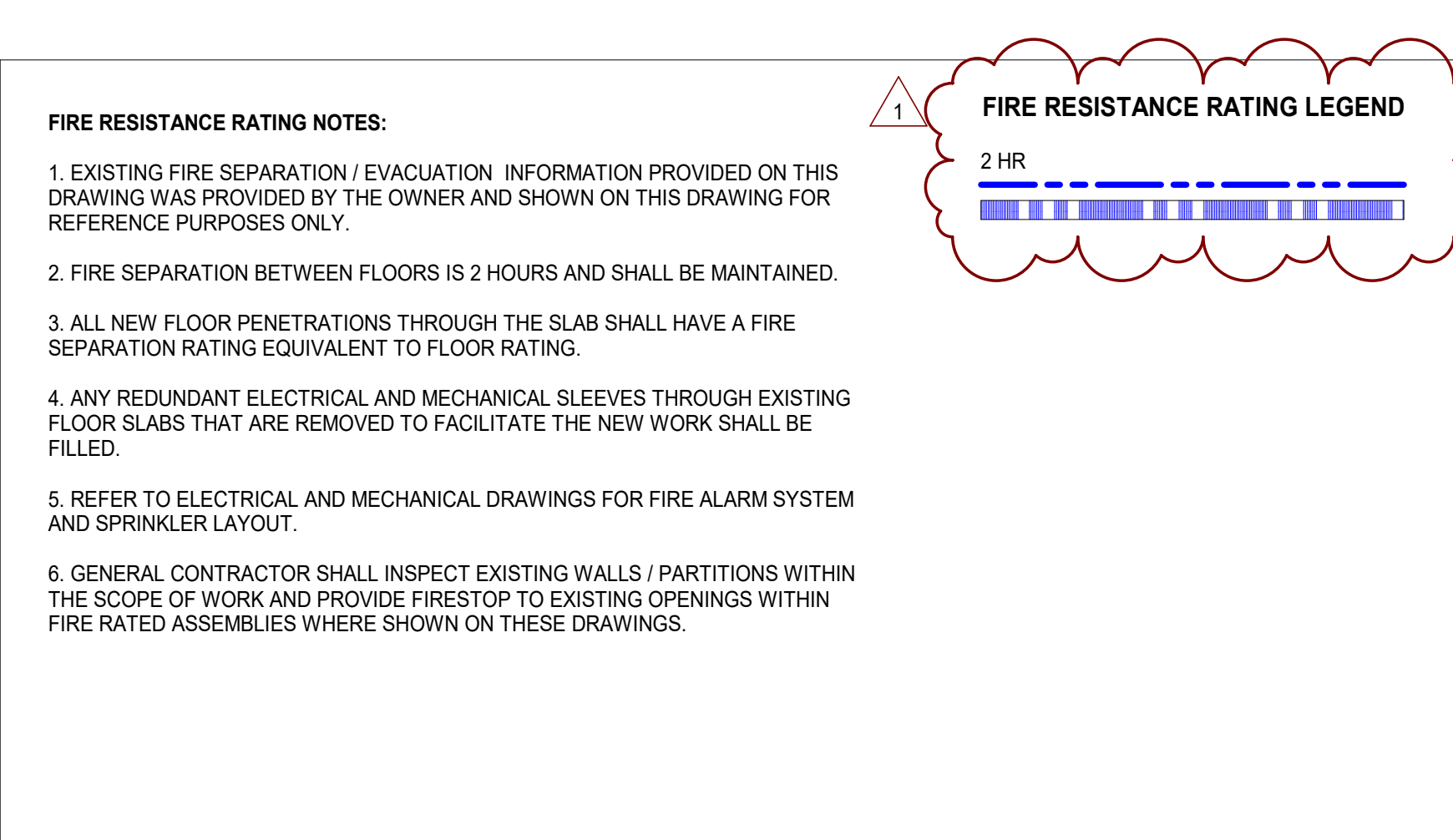
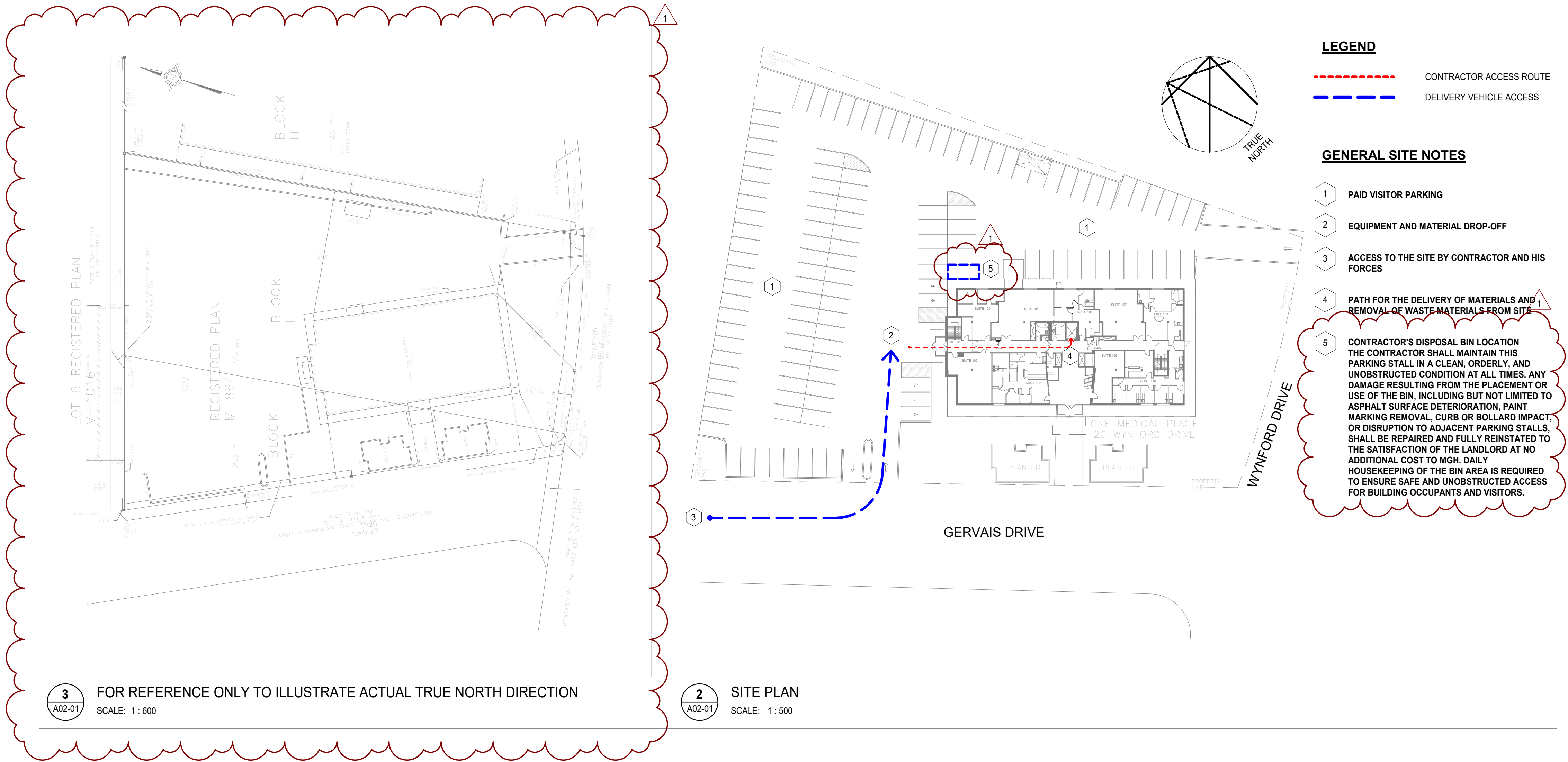
NOTE: The application / location for the materials indicated is not limited to the list below and is to be used in conjunction with and may be supplemented by, the Specifications, Schedules and Drawings. Refer to Specifications, Schedules and Drawings for full extent of material application and additional material types.

CODE	ITEM	DESCRIPTION	APPLICATION / LOCATION	SAMPLE IMAGE
PPE	PPE Dispenser	Manufacturer: MEDIC ACCESS Product: Basic WALL-MOUNTED SYSTEM ISO-18 001 Preset WALL-MOUNTED SYSTEM ISO-18 003	Multiple Locations 2X at Scrub sinks 1x at Team Station Handwash Station	 
GVD-1	Glove Dispenser	Manufacturer: American Specialties, Inc. Product: 0501-3 Surface Mounted Surgical Glove Dispenser – Three Boxes Type 304 stainless steel with satin finish	Multiple Locations	

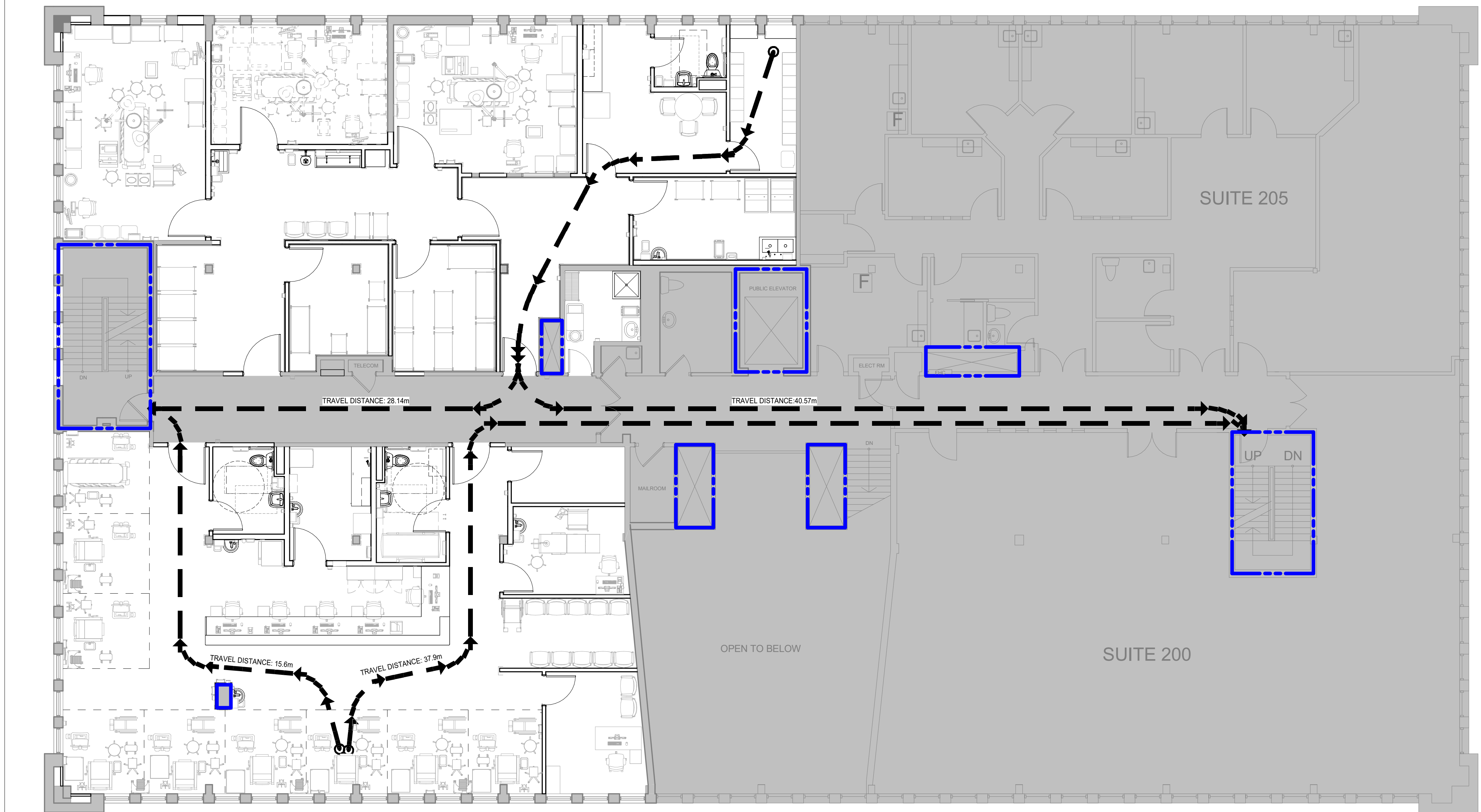
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CODE	ITEM	DESCRIPTION	APPLICATION / LOCATION	SAMPLE IMAGE
AED	AED Cabinet	<p>Manufacturer: AED Superstore Product: Recessed (RM) Zoll Medical, Tall, RM, 18 lbs. Outside Dimensions: 0.375" X 15.375" X .25"</p> <p>Kemp CPR Board 10-518 tem #: WBB2193556 Product Dimensions: 23.75" x 16.25" x 2.75" Product Weight: 3.35 lbs Wall mounted Hook, Samarit #4086</p>		 <p>REF: WBB2193556</p>  <p>Kemp CPR Board, 10-518</p> <p>Wall mounted Hook, Samarit #4086</p> 

End of Section



ONTARIO BUILDING CODE DATA MATRIX 2024 PART 3				O.B.C. REFERENCE																								
				PART 11	PART 3																							
1	PROJECT DESCRIPTION INTERIOR RENOVATION OF EXISTING SURGICAL UNIT LEVEL 2 FLOOR. 20 WYNFORD DR SUITE 201 TORONTO, ON M3C 1J4 <div><input type="checkbox"/> NEW <input type="checkbox"/> ADDITION <input checked="" type="checkbox"/> ALTERATION <input type="checkbox"/> CHANGE OF USE</div>			11.1 TO 11.4	1.1.2 [A]																							
2	MAJOR OCCUPANCY(S) D			3.1.2.1 (1)																								
3	BUILDING AREA (m²) EXISTING:		NEW: UNCHANGED TOTAL:	1.4.1.2 [A]																								
4	GROSS AREA PER FLOOR (m²) EXISTING: 1150 m2		RENOVATED: TOTAL: 1150 m2	1.4.1.2 [A]																								
5	NUMBER OF STOREYS ABOVE GRADE: EXISTING 3 STOREY		BELOW GRADE: 1	1.4.1.2 [A] & 3.2.1.1																								
6	NUMBER OF STREETS / FIRE FIGHTER ACCESS 2			3.2.2.10 & 3.2.5.																								
7	BUILDING CLASSIFICATION GROUP D, BUSINESS & PERSONAL SERVICES			3.2.2.49																								
8	SPRINKLER SYSTEM PROPOSED <input type="checkbox"/> ENTIRE BUILDING (EXISTING TO REMAIN) <input type="checkbox"/> SELECTED COMPARTMENTS <input type="checkbox"/> BASEMENT ONLY <input type="checkbox"/> IN LIEU OF ROOF RATING <input checked="" type="checkbox"/> NOT REQUIRED			3.2.2.52 (2)(a), 3.2.2.17, 3.2.4.15, INDEX																								
9	STANDPIPE REQUIRED <input checked="" type="checkbox"/> YES (EXISTING TO REMAIN) <input type="checkbox"/> NO			3.2.9																								
10	FIRE ALARM REQUIRED <input checked="" type="checkbox"/> YES (EXISTING TO REMAIN) <input type="checkbox"/> NO			3.2.2.17																								
11	WATER SUPPLY / SUPPLY IS ADEQUATE <input checked="" type="checkbox"/> YES (EXISTING TO REMAIN) <input type="checkbox"/> NO			3.2.5.7																								
12	HIGH BUILDING <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			3.2.6																								
13	PERMITTED CONSTRUCTION <input type="checkbox"/> COMBUSTIBLE <input checked="" type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH ACTUAL CONSTRUCTION <input type="checkbox"/> COMBUSTIBLE <input checked="" type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH			3.2.2.20-83																								
14	MEZZANINE(S) AREA (m²) N/A			3.2.1.1 (3)-(8)																								
15	OCCUPANT LOAD BASE ON <input type="checkbox"/> m2/PERSON <input checked="" type="checkbox"/> DESIGN OF BUILDING			3.1.17																								
16	BARRIER-FREE DESIGN <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO (EXPLAIN)			3.8																								
17	HAZARDOUS SUBSTANCES <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			3.3.1.2 & 3.3.1.19																								
18	REQUIRED FIRE RESISTANCE RATING (FRR)		<table><tr><td colspan="2">HORIZONTAL ASSEMBLIES FRR (HOURS)</td><td>LISTED DESIGN NO. OR DESCRIPTION (SG-2)</td></tr><tr><td>FLOOR:</td><td>2 HOURS</td><td>N/A</td></tr><tr><td>MEZZANINE:</td><td>N/A HOURS</td><td>N/A</td></tr><tr><td>ROOF:</td><td>45min HOURS</td><td>N/A</td></tr><tr><td colspan="2">SUPPORTING MEMBERS FRR (HOURS)</td><td>LISTED DESIGN NO. OR DESCRIPTION (SG-2)</td></tr><tr><td>WALLS/COLUMNS:</td><td>N/A HOURS</td><td>N/A</td></tr><tr><td>MEZZANINE:</td><td>N/A HOURS</td><td>N/A</td></tr><tr><td>ROOF:</td><td>N/A HOURS</td><td>N/A</td></tr></table>	HORIZONTAL ASSEMBLIES FRR (HOURS)		LISTED DESIGN NO. OR DESCRIPTION (SG-2)	FLOOR:	2 HOURS	N/A	MEZZANINE:	N/A HOURS	N/A	ROOF:	45min HOURS	N/A	SUPPORTING MEMBERS FRR (HOURS)		LISTED DESIGN NO. OR DESCRIPTION (SG-2)	WALLS/COLUMNS:	N/A HOURS	N/A	MEZZANINE:	N/A HOURS	N/A	ROOF:	N/A HOURS	N/A	3.2.2.29, 3.2.1.4 <
HORIZONTAL ASSEMBLIES FRR (HOURS)		LISTED DESIGN NO. OR DESCRIPTION (SG-2)																										
FLOOR:	2 HOURS	N/A																										
MEZZANINE:	N/A HOURS	N/A																										
ROOF:	45min HOURS	N/A																										
SUPPORTING MEMBERS FRR (HOURS)		LISTED DESIGN NO. OR DESCRIPTION (SG-2)																										
WALLS/COLUMNS:	N/A HOURS	N/A																										
MEZZANINE:	N/A HOURS	N/A																										
ROOF:	N/A HOURS	N/A																										



1 LEVEL 2 - LIFE SAFETY PLAN
SCALE: 1 : 85

DATE	ISSUED FOR	REV
2025-10-03	75% CD Review	A
2025-10-29	For Client Review	B
2025-11-05	Tender & Permit	0
2025-11-27	Addendum 3	1

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This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Architect or Engineer

Key Plan

Consultants

Survey:	N/A
Civil:	N/A
Architecture:	NORR
Structural:	NORR
Mechanical:	Zdesign+ Ltd.
Electrical:	Zdesign+ Ltd.
Interiors:	NORR
Landscape:	N/A

Seal(s)

ONTARIO ASSOCIATION OF ARCHITECTS

FRANK R. PANCI
LICENSE
6260

NORR

NORR OFFICE ADDRESS
norr.com

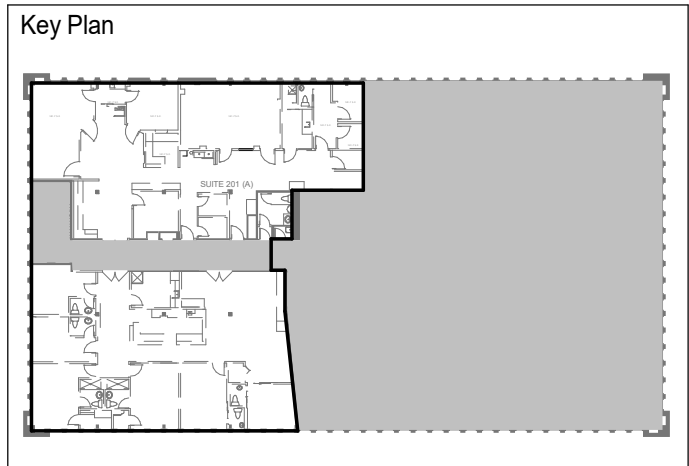
Project Manager J. MOORE	Drawn G. MILANI
Project Leader G. MILANI	Checked J. MOORE
Client	
 MICHAEL GARRON HOSPITAL TORONTO EAST HEALTH NETWORK 825 Cawell Ave, East York, ON M4C 3E7	
Project MGH - Outpatient Ophthalmology Clinic	
20 Wynford Dr Suite 310, North York, ON M3C 1J4	
Drawing Title LIFE SAFETY PLAN, OBC MATRIX, CONTRACTOR ACCESS ROUTE	
Scale As indicated	
Project No. HS1025-0189	
Drawing No. A02-01	

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DATE	ISSUED FOR	REV
2025-10-03	75% CD Review	A
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2025-11-05	Tender & Permit	0
2025-11-19	Addendum 2	1
2025-11-27	Addendum 3	2

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Electrical:	Zdesign+ Ltd.
Interiors:	NORR
Landscape:	N/A

Seal(s)

2

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Project Manager J. MOORE	Drawn G. MILANI
Project Leader G. MILANI	Checked J. MOORE



Project
MGH - Outpatient Ophthalmology Clinic

Drawing Title
DOOR & FRAME SCHEDULE

1 20 Wynford Dr Suite 310, North York, ON M3C 1J4

Scale
As indicated

Project No.
HS1025-0189

Drawing No.
A05-01

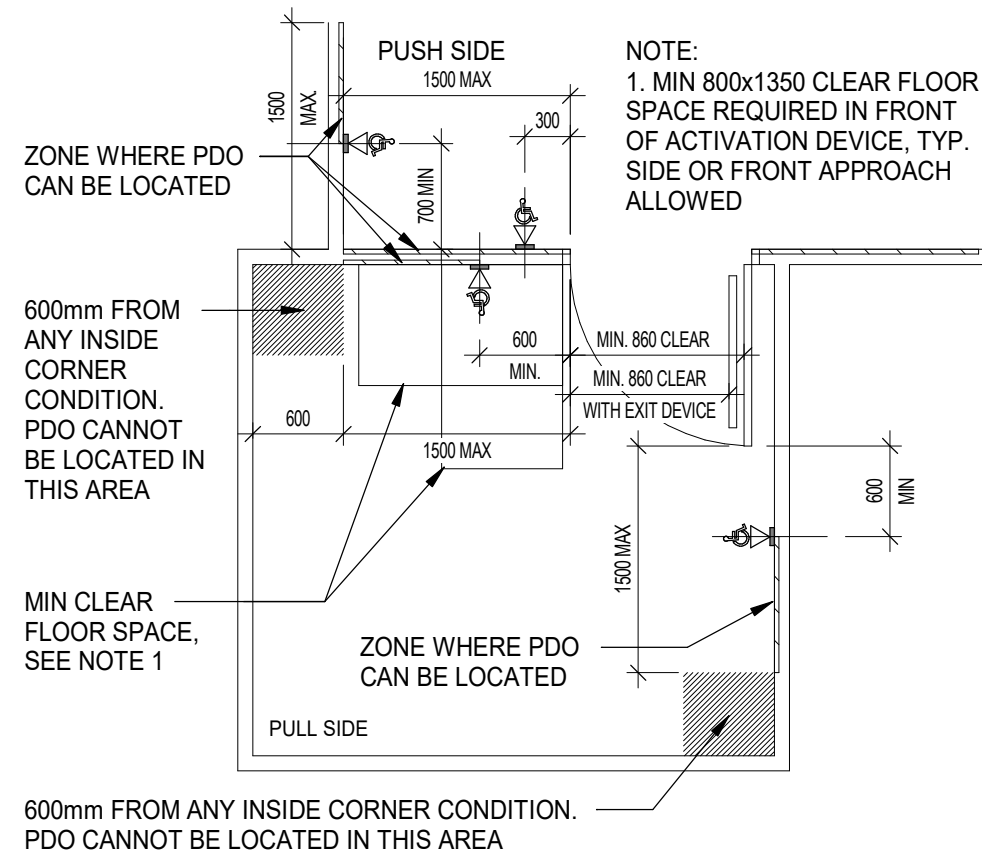
DOOR / FRAME LEGENDS & ABBREVIATIONS

LEGEND / ABBREVIATIONS	DOOR TYPES LEGEND
ALUM ALUMINUM	BF BIFOLD DOOR
ANOD ANODIZED	CD COILING DOOR
CLR CLEAR	CS COUNTER SHUTTER
DCRON DURACRON	DD DOUBLE SWING DOOR
DNAR DURANAR	GA GLAZED ALUMINUM DOOR
EXT EXTERIOR	GL GLASS DOOR
F FRAME	HD HANGAR DOOR
GA GLAZED ALUMINUM	ID IMPACT DOOR
GALVS GALVANIZED	OH OVERHEAD DOOR
GL-? GLASS (type)	RE REVOLVING DOOR
GL-TS TEMPERED SAFETY GLASS	RO ROLLING DOOR
GWG GEORGIAN WIRE GLASS	RR RAPID ROLL DOOR
HCW HOLLOW CORE WOOD	SD SINGLE SWING DOOR
HM HOLLOW METAL	SL SLIDING DOOR
HR HOUR	SP SPECIAL DOOR (define and detail)
INS INSULATED	
MIN MINUTE	
NA NOT APPLICABLE	
NF NO FRAME (FRAMELESS)	
PC POWDER COAT	
PS PRESSED STEEL	
PT PAINTED	
SCWD SOLID CORE WOOD	
SST STAINLESS STEEL	
STL STEEL	
WD WOOD	
VV WOOD VENEER	

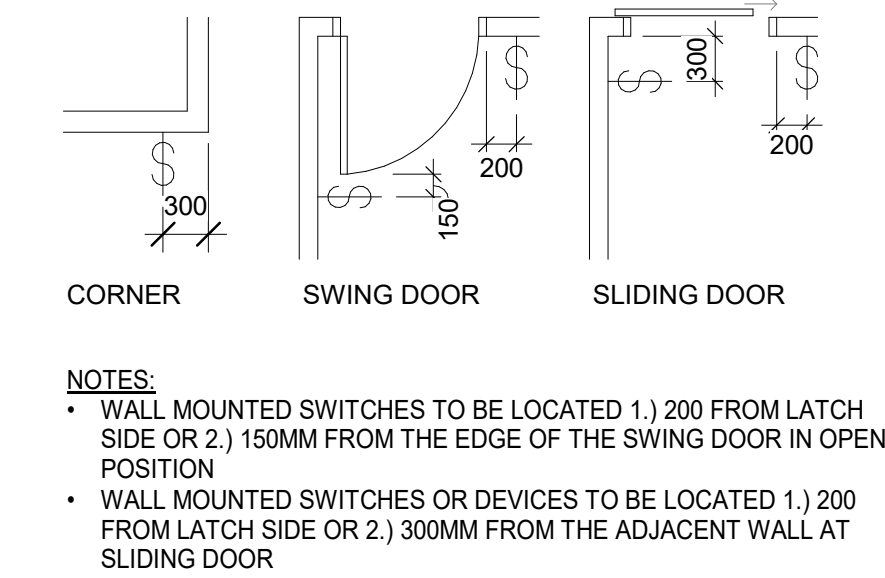
DOOR AND FRAME GENERAL NOTES

1. REFER TO SPECIFICATIONS OR FINISH IDENTIFICATION SCHEDULE FOR DESCRIPTION OF FINISHES AND COLOURS

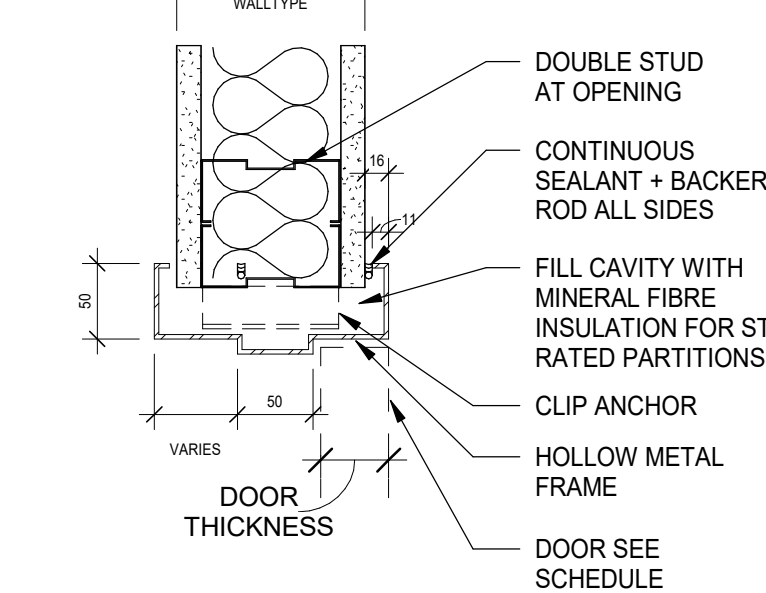
PLAN VIEW - DOOR OPERATOR LOCATION



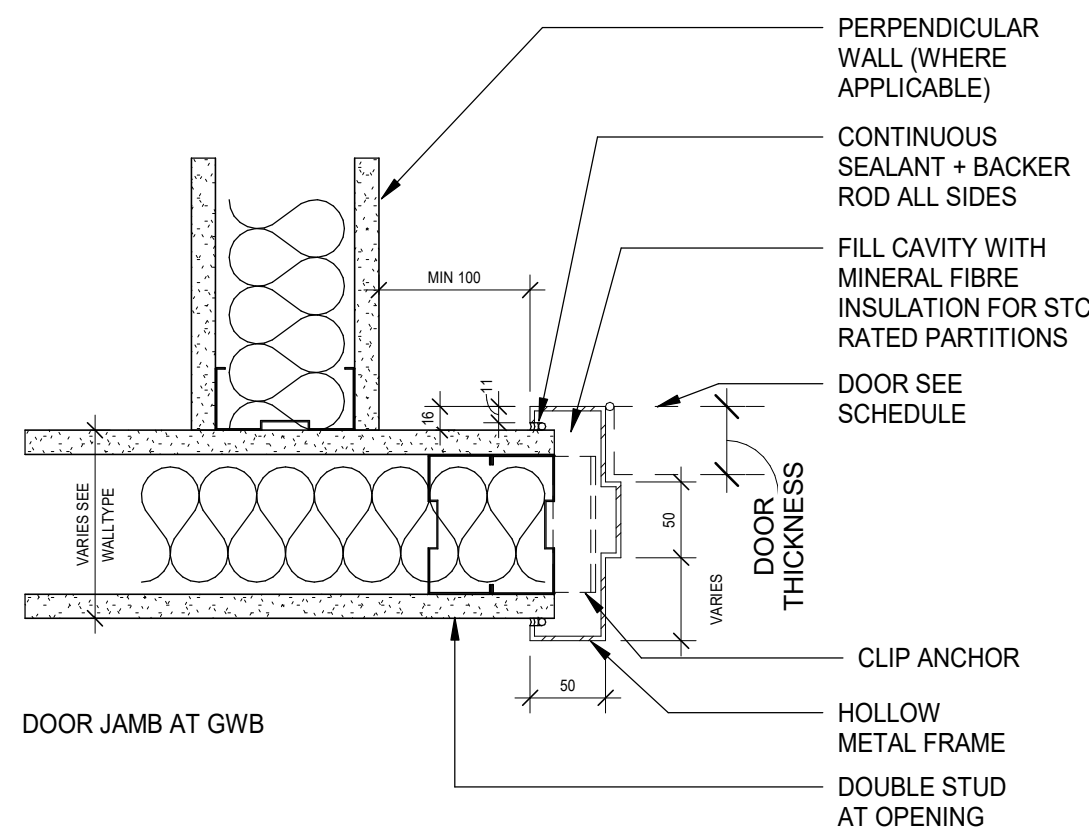
PLAN VIEW - SWITCH/DEVICE LOCATION



2
A05-01
DOOR OPERATOR LOCATION
SCALE: 1 : 50



DOOR HEAD AT GWB

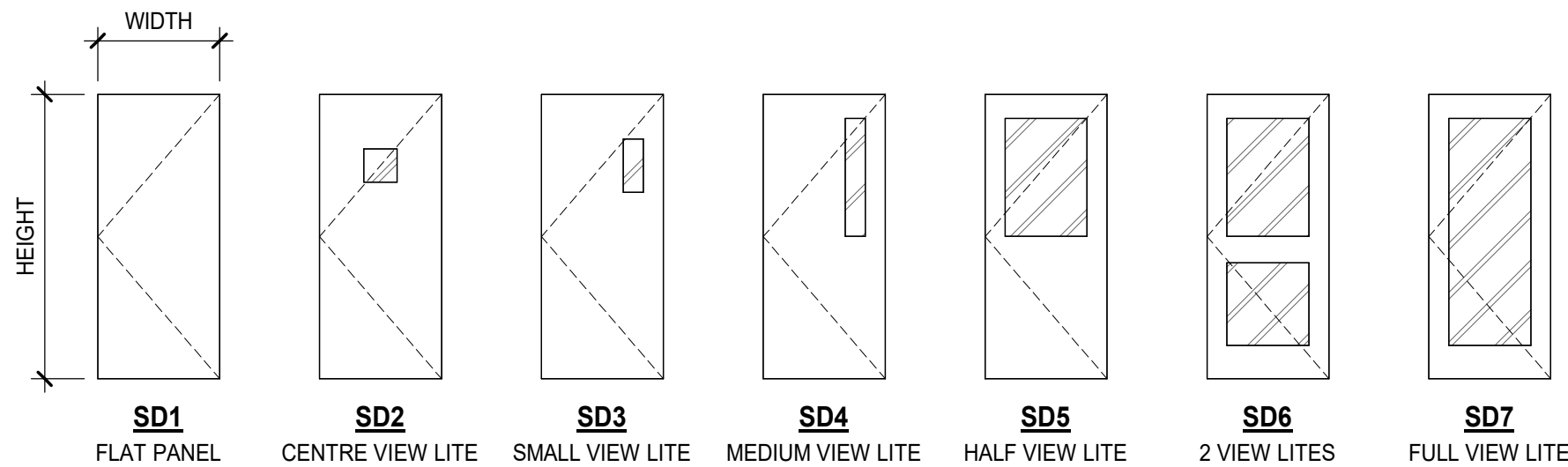


HOLLOW METAL FRAMES

1
A05-01
DOOR FRAME DETAILS
SCALE: 1 : 5

2 DOOR & FRAME SCHEDULE

DOOR PARAMETERS								FRAME PARAMETERS				FRAME PARAMETERS		OPENING PARAMETERS		COMMENTS
DOOR NO.	FROM	TO	TYPE	DIMENSIONS			MATL	FINISH	FRAME TYPE	OVERALL		MATL	FINISH	OPENING FRF	HDWR GROUP	
				WIDTH	HEIGHT	THK				WIDTH	HEIGHT					
2-101	9	1	SD4	1220	2135	45	HM	PTD	F1	1320	2185	HM	PTD			<div>2</div> <div>Door operator needed, Add 3/4 frosting film on vision panel</div> <div>Door operator needed, Add 3/4 frosting film on vision panel</div> <div>Door operator needed, Add 3/4 frosting film on vision panel</div> <div>Add 3/4 frosting film on vision panel</div>
2-102	9	2	SD4	1220	2135	45	HM	PTD	F1	1320	2185	HM	PTD			
2-103	9	3	SD4	1220	2135	45	HM	PTD	F1	1320	2185	HM	PTD			
2-104	8	4	SD4	965	2135	45	HM	PTD	F1	1065	2185	HM	PTD			
2-105	4	5	SD1	965	2135	45	HM	PTD	F1	1065	2185	HM	PTD			
2-106	4	6	SD1	965	2135	45	HM	PTD	F1	1065	2185	HM	PTD			
2-107	4	7	SD4	1115	2135	45	HM	PTD	F1	1215	2185	HM	PTD			
2-108A	9	8	SD5	1220	2135	45	HM	PTD	F1	1320	2185	HM	PTD	CR		
2-108B	37	8	SD4	1115	2135	45	HM	PTD	F1	1215	2185	HM	PTD	CR		
2-109	32	9	SD4	1220	2135	45	HM	PTD	F1	1320	2185	HM	PTD	CR	Door operator needed	
2-110	9	10	SD4	1115	2135	45	HM	PTD	F1	1215	2185	HM	PTD		Add 3/4 frosting film on vision panel	
2-111	9	11	SD4	1115	2135	45	HM	PTD	F1	1215	2185	HM	PTD		Add 3/4 frosting film on vision panel	
2-112	37	12	EXIST.	762	2135	45	HM	PTD	EXIST.	862	2185	HM	PTD	LOCK	Lock needed	
2-113	27	13	SD1	1065	2135	45	HM	PTD	F1	1165	2185	HM	PTD			
2-114	27	14	SD1	1005	2135	45	HM	PTD	F1	1105	2185	HM	PTD			
2-115	27	15	SD4	1065	2135	45	HM	PTD	F1	1165	2185	HM	PTD	CR	Add 3/4 frosting film on vision panel	
2-116	27	16	SD4	965	2135	45	HM	PTD	F1	1065	2185	HM	PTD		Add frosting film on vision panel	
2-117	27	17	SD1	965	2135	45	HM	PTD	F1	1065	2185	HM	PTD			
2-118	27	18	SD4	965	2135	45	HM	PTD	F1	1065	2185	HM	PTD		Add frosting film on vision panel	
2-127A	37	27	SD6	1220	2135	45	HM	PTD	F1	1320	2185	HM	PTD	CR	Door will stay open during business hours. hold open hardware needed.	
2-127B	37	27	SD6	1220	2135	45	HM	PTD	F1	1320	2185	HM	PTD	CR	Door will stay open during business hours. hold open hardware needed.	



SINGLE SWING DOOR TYPES



1. ALL DIMENSIONS AND CONDITIONS ARE TO BE VERIFIED IN THE FIELD BY GENERAL CONTRACTOR. ARCHITECT TO BE NOTIFIED OF ANY DISCREPANCIES.
2. IF ANY QUESTIONS ARISE AS TO THE REMOVAL OF ANY MATERIAL, CLARIFY THE POINT IN QUESTION WITH ARCHITECT BEFORE PROCEEDING.
3. PROVIDE STRICT CONTROL OF JOB CLEANING AND PREVENT DUST AND DEBRIS FROM EMANATING FROM DEMOLITION/CONSTRUCTION AREA. KEEP AREA CLEAN.
4. AT COMPLETION OF DEMOLITION WORK, THE CONSTRUCTION AREA(S) SHALL BE LEFT IN "BROOM CLEAN" CONDITION. ALL DEBRIS AND MISCELLANEOUS MATERIAL SHALL BE REMOVED AND JOB SITE KEPT CLEAN ON A DAILY BASIS.
5. ALL DEBRIS REMOVAL SHALL BE PERFORMED IN ACCORDANCE WITH OWNER REQUIREMENTS AND PROCEDURES
6. CONTRACTOR TO COORDINATE PLACEMENT OF DUMPSTER AND/OR GARBAGE CHUTE WITH OWNER.
7. CONTRACTOR TO MAINTAIN ALL EGRESS DOORS, AND ACCESS TO ALL EGRESS EXIT DOORS THROUGHOUT ALL DEMOLITION/NEW CONSTRUCTION.
8. REPAIR AND MAINTAIN ALL FLOORS IF AFFECTED BY DEMOLITION. REPAIR AS REQUIRED TO MEET ORIGINAL FIRE PROTECTION AND STRUCTURAL REQUIREMENTS. PREPARE SURFACES TO RECEIVE NEW FINISHES, AS REQUIRED. FINISHES TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.
9. EXISTING CONSTRUCTION ADJACENT TO ITEMS BEING REMOVED TO BE ADEQUATELY PROTECTED AND PATCHED AND REPAIRED AS REQUIRED. ANY DAMAGE TO EXISTING FINISHES TO REMAIN SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. DAMAGED SURFACES TO BE REPAIRED AND REFINISHED TO NEAREST INSIDE CORNER. ALL REPAIR WORK SUBJECT TO APPROVAL BY ARCHITECT.
10. WHERE PARTITIONS ARE TO BE REMOVED, REMOVE MECHANICAL AND ELECTRICAL SYSTEMS.
11. COORDINATE WORK CONCERNING EXISTING EQUIPMENT AND SERVICES IN THE BUILDING WITH OWNER. CONTRACTOR TO CONTACT OWNER TO SCHEDULE A SHUTDOWN AT A TIME CONVENIENT TO ALL WHEN IT IS NECESSARY TO TEMPORARILY INTERRUPT SYSTEMS OR SERVICES TO PERMIT DEMOLITION. CONTRACTOR REQUEST MUST BE IN WRITING.
12. CONTRACTOR TO ENSURE THAT ANY DEMOLITION REQUIRING "EXCESSIVE" NOISE BE PERFORMED AFTER NORMAL BUSINESS HOURS. COORDINATE WITH OWNER.
13. REMOVE EXISTING FLOORING, WALLS, CEILING, FLOORING & CEILING FINISHES (EXCEPT FOR MEN W-L2-03), PLUMBING FIXTURES (EXCEPT FOR SINK IN MEN W-L2-03), BASEBOARD HEATERS IN THE PERIMETER, MILLWORK.

EXISTING DOOR TO BE REMOVED OR RELOCATED

EXISTING PARTITION TO BE DEMOLISHED

EXISTING PARTITION TO REMAIN

EXISTING DOOR TO REMAIN

EXISTING AREAS OUTSIDE OF RENOVATION BOUNDARY ARE FULLY OCCUPIED AND SHALL REMAIN NOMINALLY FUNCTIONAL

MILLWORK TO BE REMOVED

D1 EXISTING WALL PROTECTION IN PROCEDURE ROOMS TO BE REMOVED.

D2 BUILT-IN SS SHELF IN MINOR PROCEDURE ROOM#1 TO BE REMOVED.

D3 REMOVE EXISTING FROSTING AT MAIN DOORS. EXISTING MAIN DOORS TO BE PAINTED.

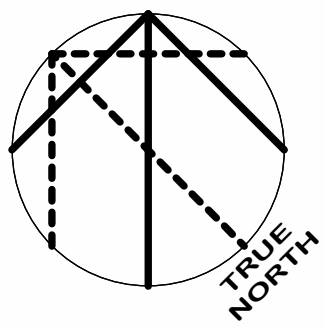
D4 EXISTING MEN'S WASHROOM SIGN TO BE REMOVED. WALL TO BE PATCHED/PAINTED.

D5 WITHIN DUTY UTILITY ROOM L2-13, CUT AND CAP ABANDONED MEDICAL GAS PIPING (PREVIOUSLY DECOMMISSIONED BY THE FORMER TENANT) FROM THE FLOOR LEVEL BELOW WHICH PENETRATES THE FLOOR SLAB AT LEVEL 2. CALL OPENINGS WITH CONCRETE, REPAIR AND MAKE GOOD SUBSTRATE TO RECEIVE NEW FLOORING FINISH AS SPECIFIED. COORDINATE WITH MECHANICAL CONTRACTOR FOR MED GAS OUTLET AND PIPING REMOVALS.

D6 OPTIONAL OPTION IF REQUIRED: IF A SECOND-FLOOR WINDOW OPENING IS APPROVED BY THE LANDLORD FOR THE SUPPLY AND INSTALLATION OF A TEMPORARY WASTE CHUTE, THE CONTRACTOR SHALL CAREFULLY REMOVE THE INSULATED, ALUMINUM-FRAMED, DOUBLE-GLAZED WINDOW UNIT AND SECURELY STORE IT WITHIN THE CONTRACTOR'S STORAGE AREA. UPON THE REMOVAL OF THE CHUTE, THE CONTRACTOR SHALL FULLY REINSTATE THE WINDOW ASSEMBLY TO ITS ORIGINAL CONDITION, ENSURE PROPER OPERATION, FULL WEATHER-TIGHTNESS, AND RESTORATION OF ALL AFFECTED FINISHES TO THE SATISFACTION OF THE LANDLORD AT NO ADDITIONAL COST TO MGH.

D7 OPTIONAL OPTION IF REQUIRED: IF A SECOND-FLOOR WINDOW OPENING IS APPROVED BY THE LANDLORD FOR THE USE OF EXTERIOR HOISTING EQUIPMENT TO DELIVER CONSTRUCTION MATERIALS INTO THE WORK AREA, THE CONTRACTOR SHALL CAREFULLY REMOVE THE INSULATED, ALUMINUM-FRAMED, DOUBLE-GLAZED WINDOW UNIT AND SECURELY STORE IT WITHIN THE CONTRACTOR'S SITE LIMITS TO PREVENT DAMAGE. ALL HOISTING OPERATIONS SHALL BE CONDUCTED AFTER-HOURS ONLY AND SHALL BE FULLY ENCLOSED WITH APPROPRIATE SECURITY FENCING AND SAFETY MEASURES TO PROTECT THE PUBLIC AND BUILDING OCCUPANTS AT ALL TIMES. UPON COMPLETION OF HOISTING ACTIVITIES, THE WINDOW ASSEMBLY SHALL BE FULLY REINSTITED TO ITS ORIGINAL CONDITION, ENSURING PROPER OPERATION AND WEATHER-TIGHTNESS.

Scale	As indicated
Project No.	HS1025-0189
Drawing No.	A20-01



1 LEVEL 1 EXISTING REFLECTED CEILING PLAN
SCALE: 1 : 50

REFLECTED CEILING PLAN LEGEND

- EXISTING AREAS OUTSIDE OF RENOVATION BOUNDARY ARE FULLY OCCUPIED AND SHALL REMAIN NOMINALLY FUNCTIONAL
- EXISTING ACOUSTIC CEILING TILE 600x1200mm
- EXISTING GYPSUM BOARD CEILING
- EXISTING CEILING MOUNTED LIGHT FIXTURES
- EXISTING PENDANT LIGHT FIXTURES
- EXISTING RETURN AIR / SUPPLY AIR

RCP DEMOLITION NOTES

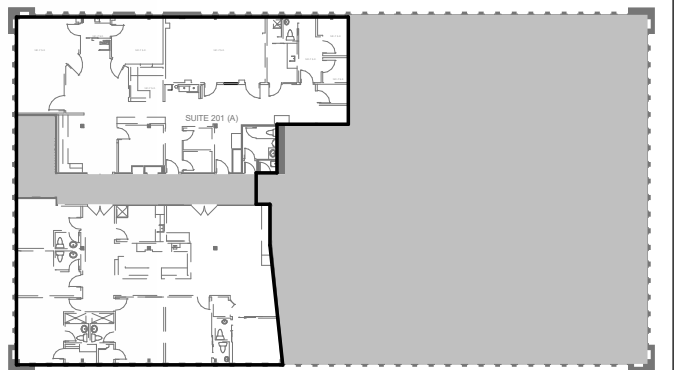
EXISTING GYPSUM CEILING, CEILING TILES, LIGHTING FIXTURES, DIFFUSERS, AND RETURN GRILLS TO BE TEMPORARILY REMOVED AND REINSTALLED AFTER PLUMBING WORK, PATCH AND REPAIR WHERE REQUIRED. NORMAL OPERATION OF THE SPACE MUST CONTINUE DURING DAY. COORDINATION WITH LANDLORD AND TENANT IS REQUIRED.

DATE	ISSUED FOR	REV
2025-10-03	75% CD Review	A
2025-10-29	For Client Review	B
2025-11-05	Tender & Permit	0
2025-11-19	Addendum 2	1
2025-11-27	Addendum 3	2

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Key Plan



Consultants

Survey: N/A
Civil: N/A
Architecture: NORR
Structural: NORR
Mechanical: Zdesign+ Ltd.
Electrical: Zdesign+ Ltd.
Interiors: NORR
Landscape: N/A

Seal(s)



NORR

NORR OFFICE ADDRESS
norr.com

Project Manager J. MOORE	Drawn Author
Project Leader G. MILANI	Checked Checker

Client



Project

**MGH - Outpatient
Ophthalmology Clinic**

20 Wynford Dr Suite 310, North York, ON M3C 1J4

Drawing Title

**LEVEL 1 DEMOLITION
REFLECTED CEILING PLAN**

Scale

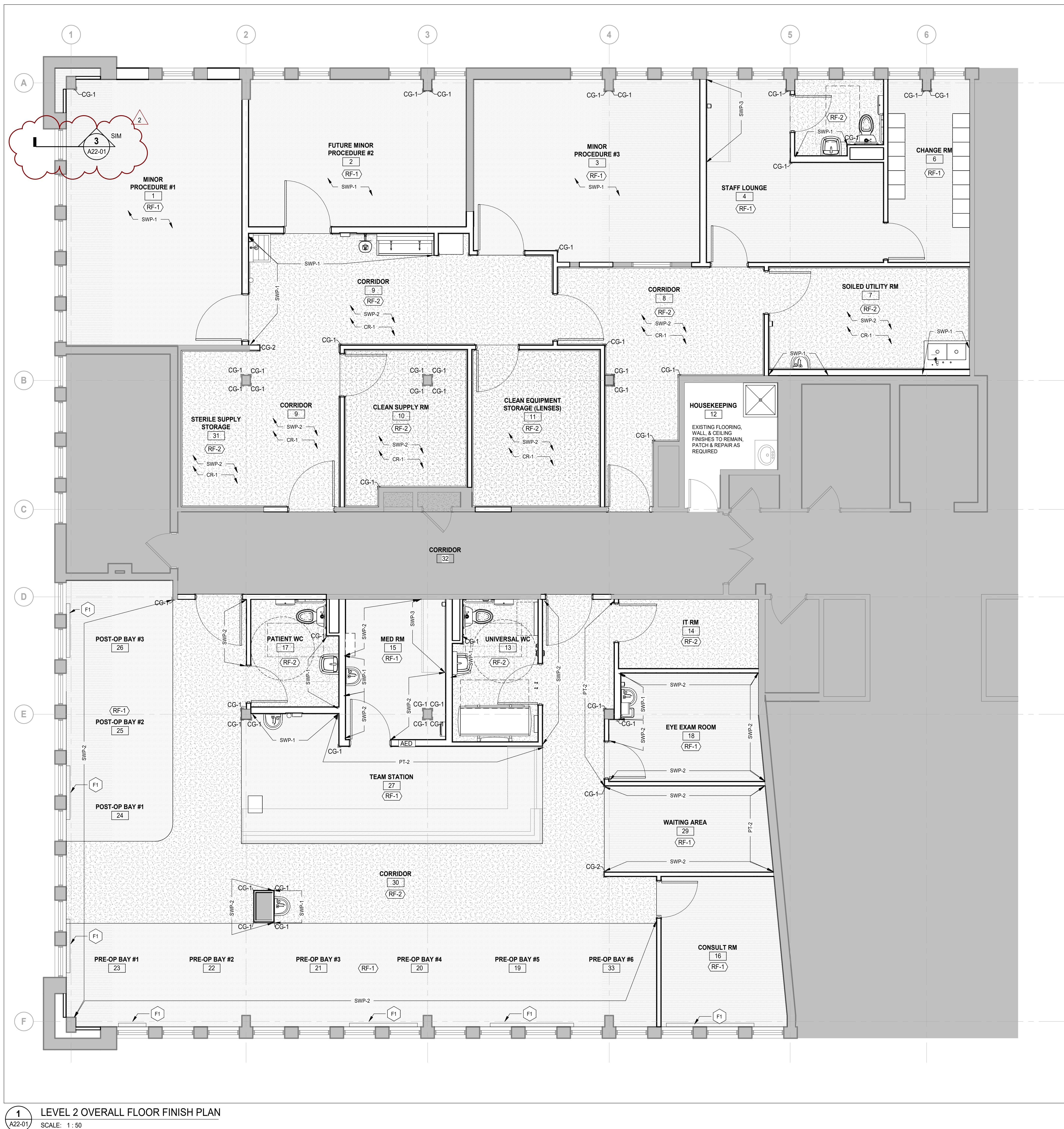
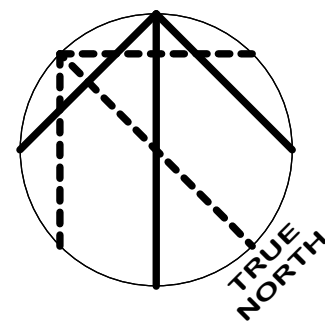
As indicated

Project No.

HS1025-0189

Drawing No.

A20-03



FINISH PLAN GENERAL NOTES

1. ALL WALLS TO RECEIVE BASE ICB-1, UNO
2. ALL WALLS TO RECEIVE PAINT PT-1, UNO
3. GYPSUM WALLBOARD FINISH LEVEL TO BE LEVEL-X, UNO
4. ALL DOOR FRAMES TO BE PAINTED ADJACENT WALL COLOR, SEMI-GLOSS FINISH.
5. EXAMINE ALL AREAS OF CONSTRUCTION AFTER COMPLETION OF WORK BY ALL TRADES (INCLUDING TELEPHONE INSTALLATION, FLOORING ETC.) AND INDICATE ALL NECESSARY TOUCH UP PAINTING AND/OR PATCHING.
6. PROVIDE AND MAINTAIN ADEQUATE PROTECTION FOR ALL FLOORING WORK FOR THE DURATION OF THE PROJECT, AND REMOVE ALL PROTECTION PRIOR TO THE PUNCH LISTING.
7. PROVIDE A FLOOR SEAMING DIAGRAM TO THE DESIGNER FOR APPROVAL PRIOR TO INSTALLATION.
8. ALL TRANSITIONS SHALL BE CENTERED ON DOORS.

FINISH PLAN LEGEND

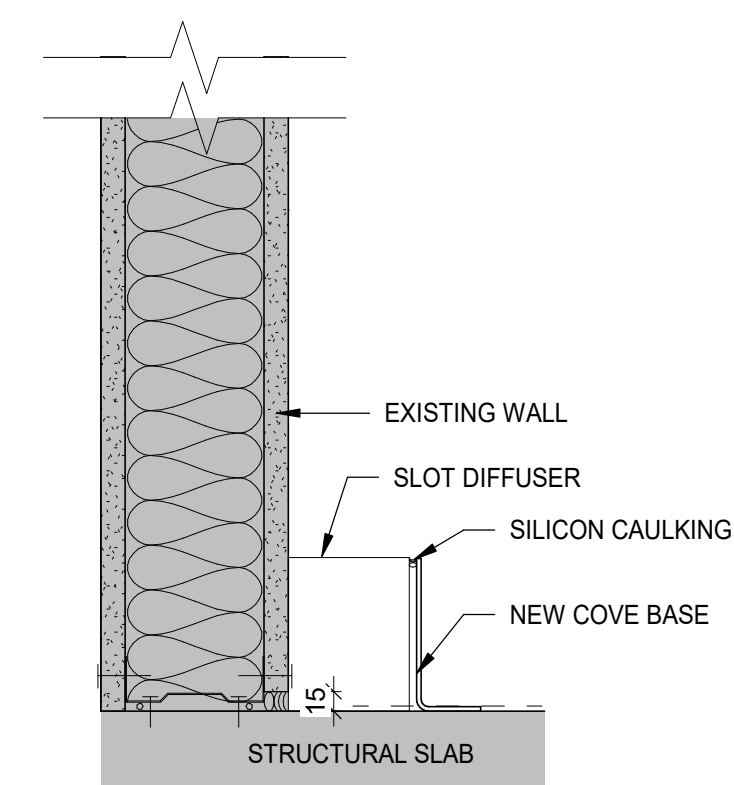
GRAPHIC	CODE	DESCRIPTION
	RSF-1	RESILIENT SHEET FLOORING, REFER TO LIST OF MATERIALS FOR COLOUR
	RSF-2	RESILIENT SHEET FLOORING, REFER TO LIST OF MATERIALS FOR COLOUR

BASE

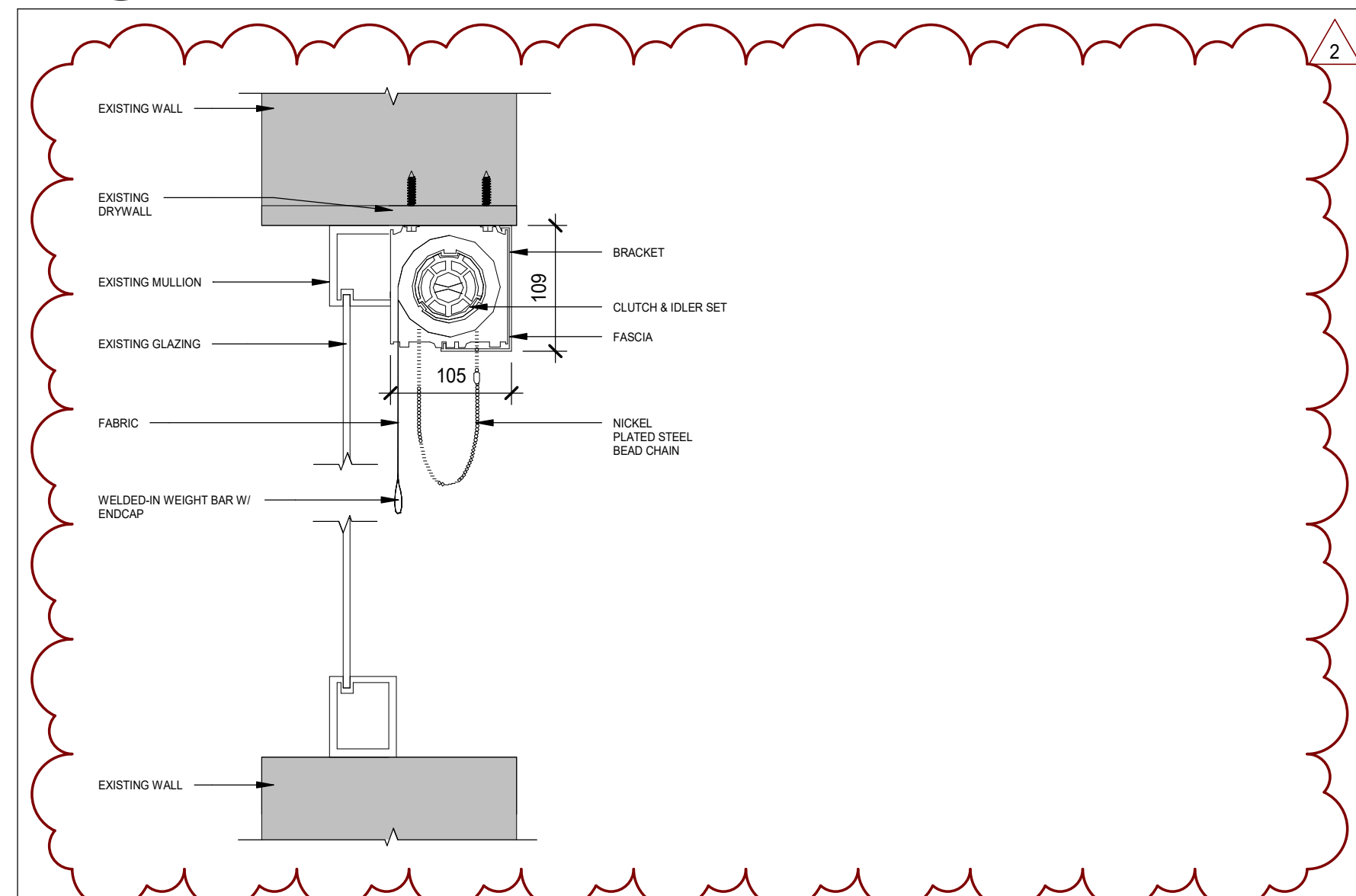
	ICB-1	INTEGRATED COVE BASE, 150mm HIGH
WALL FINISHES		
	PT-X	PAINT, REFER TO LIST OF MATERIALS FOR COLOUR
	PTE-X	EPOXY PAINT, REFER TO LIST OF MATERIALS FOR COLOUR
	SWP-X	ACROVYN WALL PROTECTION, REFER TO LIST OF MATERIALS FOR COLOUR
	SWP-1	FULL HEIGHT
	SWP-2	HALF HEIGHT (REFER TO TYPICAL MOUNTING HEIGHT SHEET)
	SWP-3	BACKSPLASH
	CG-X	ACROVYN CORNER GUARD, REFER TO LIST OF MATERIALS FOR TYPE
	CR-1	CRASH RAIL

FINISHES NOTES

- F1 CONTINUE THE FLOOR COVE BASE AROUND THE EXISTING SLOT DIFFUSERS.



2 COVE BASE AT SLOT DIFFUSER DETAIL
SCALE: 1:5



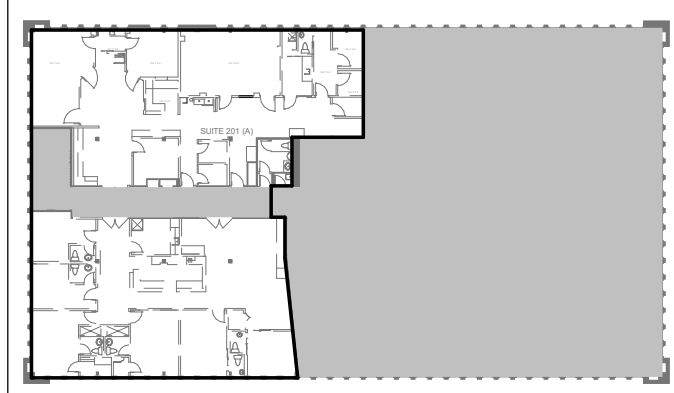
3 TYPICAL ROLLER SHADE DETAILS
SCALE: 1:5

DATE	ISSUED FOR	REV
2025-10-03	75% CD Review	A
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2025-11-27	Addendum 3	2

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Key Plan



Consultants

Survey:	N/A
Civil:	N/A
Architecture:	NORR
Structural:	NORR
Mechanical:	Zdesign+ Ltd.
Electrical:	Zdesign+ Ltd.
Interiors:	NORR
Landscape:	N/A

Seal(s)

**NORR**

NORR OFFICE ADDRESS
norr.com

Project Manager J. MOORE	Drawn G. MILANI
Project Leader G. MILANI	Checked J. MOORE
Client	



825 Cowell Ave, East York, ON M3C 3E7

Project
**MGH - Outpatient
Ophthalmology Clinic**

20 Wynford Dr Suite 310, North York, ON M3C 1J4

LEVEL 2 FINISHES PLAN

Scale
As indicated

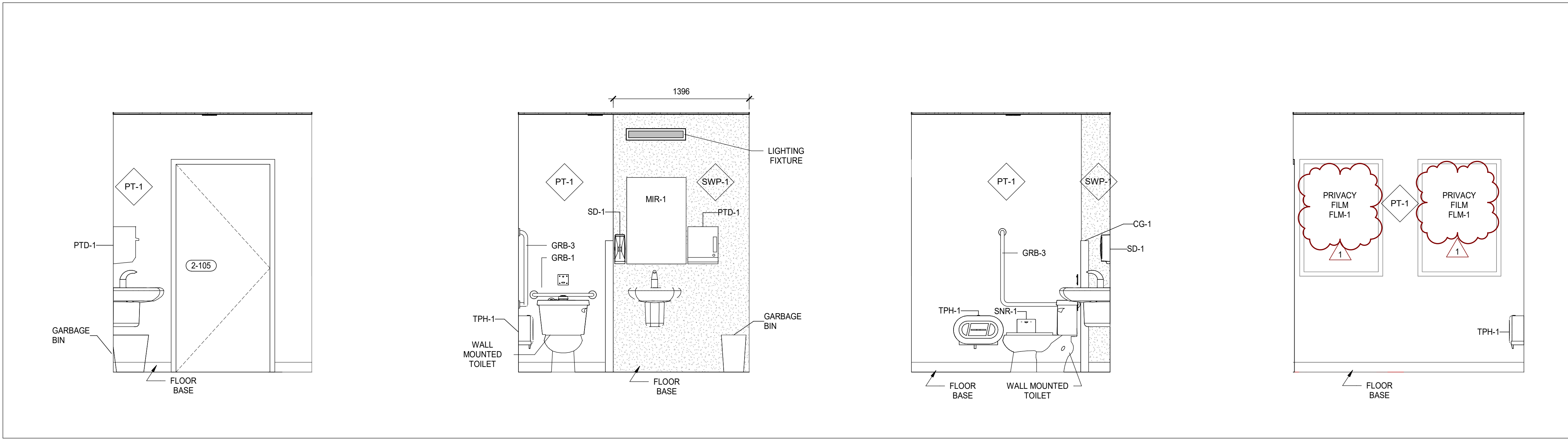
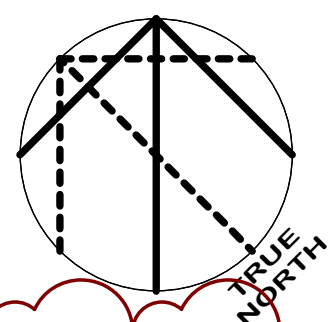
Project No.

HS1025-0189

Drawing No.

A22-01

DATE	ISSUED FOR	REV
2025-10-03	75% CD Review	A
2025-10-29	For Client Review	B
2025-11-05	Tender & Permit	0
2025-11-27	Addendum 3	1

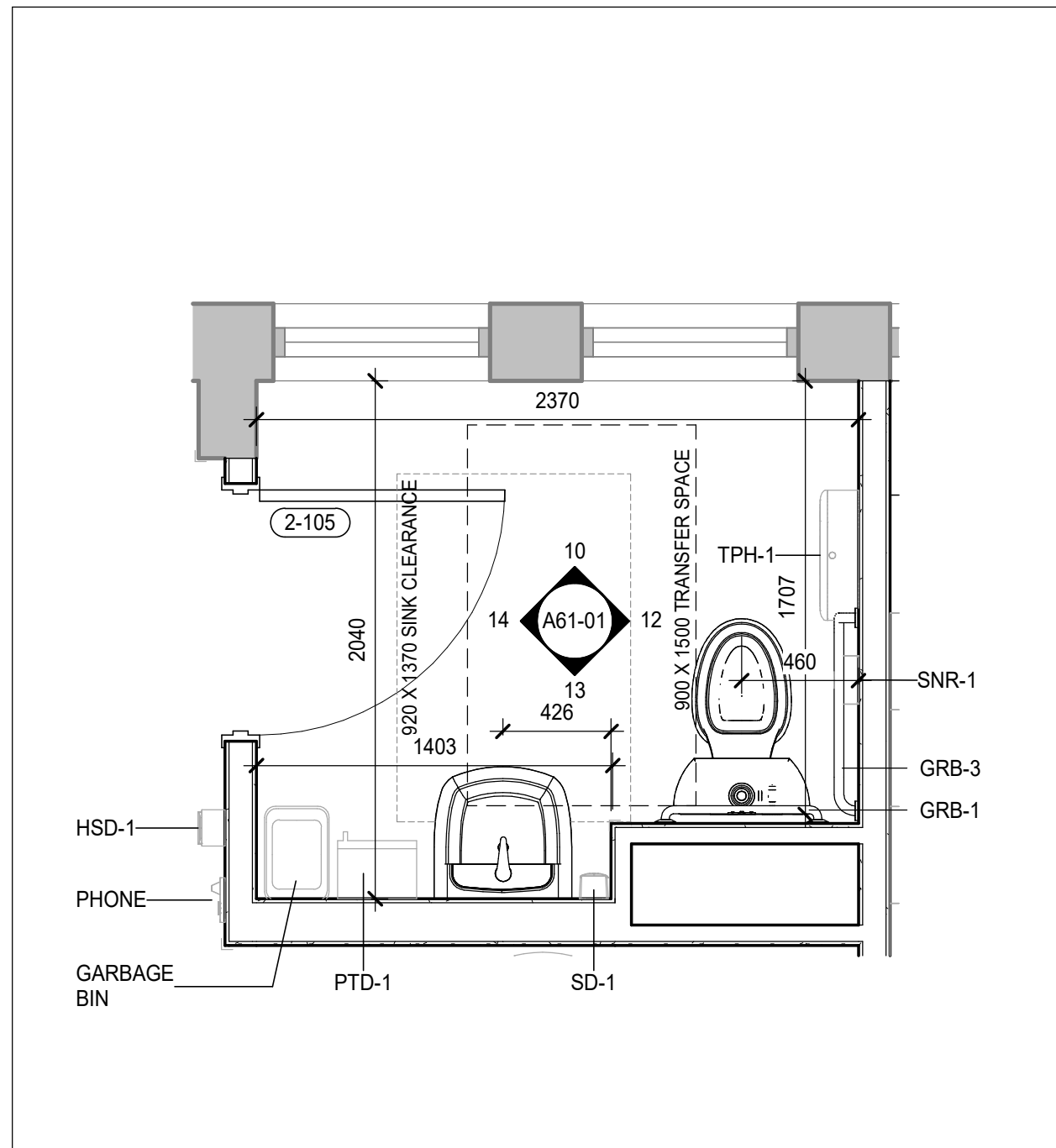


14 STAFF WASHROOM ELEVATION 4
A61-01 SCALE: 1 : 25

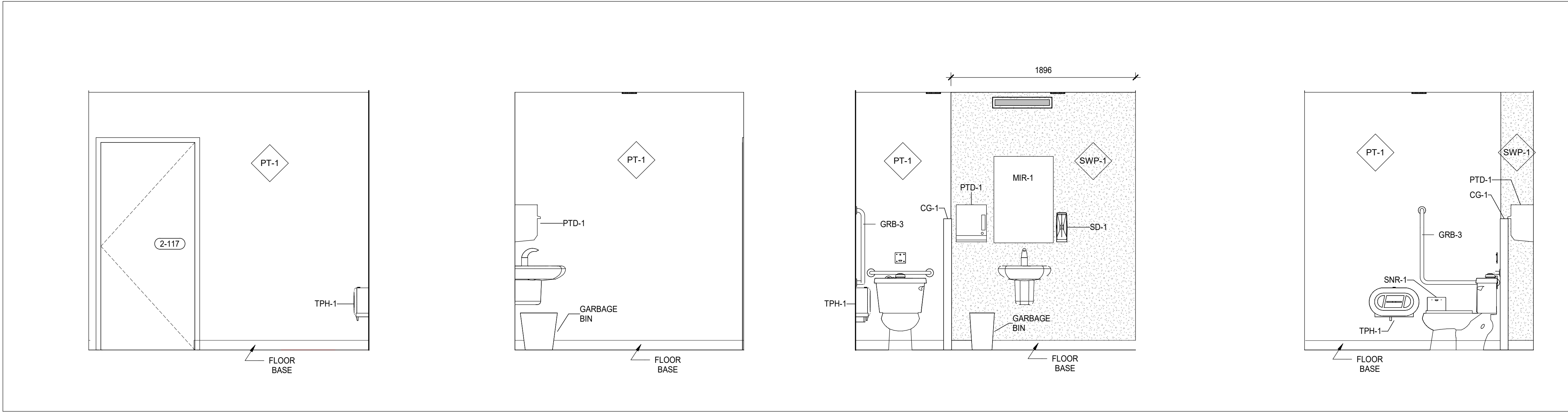
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A61-01 SCALE: 1 : 25

12 STAFF WASHROOM ELEVATION 2
A61-01 SCALE: 1 : 25

10 STAFF WASHROOM ELEVATION 1
A61-01 SCALE: 1 : 25



11 STAFF WASHROOM
A61-01 SCALE: 1 : 25

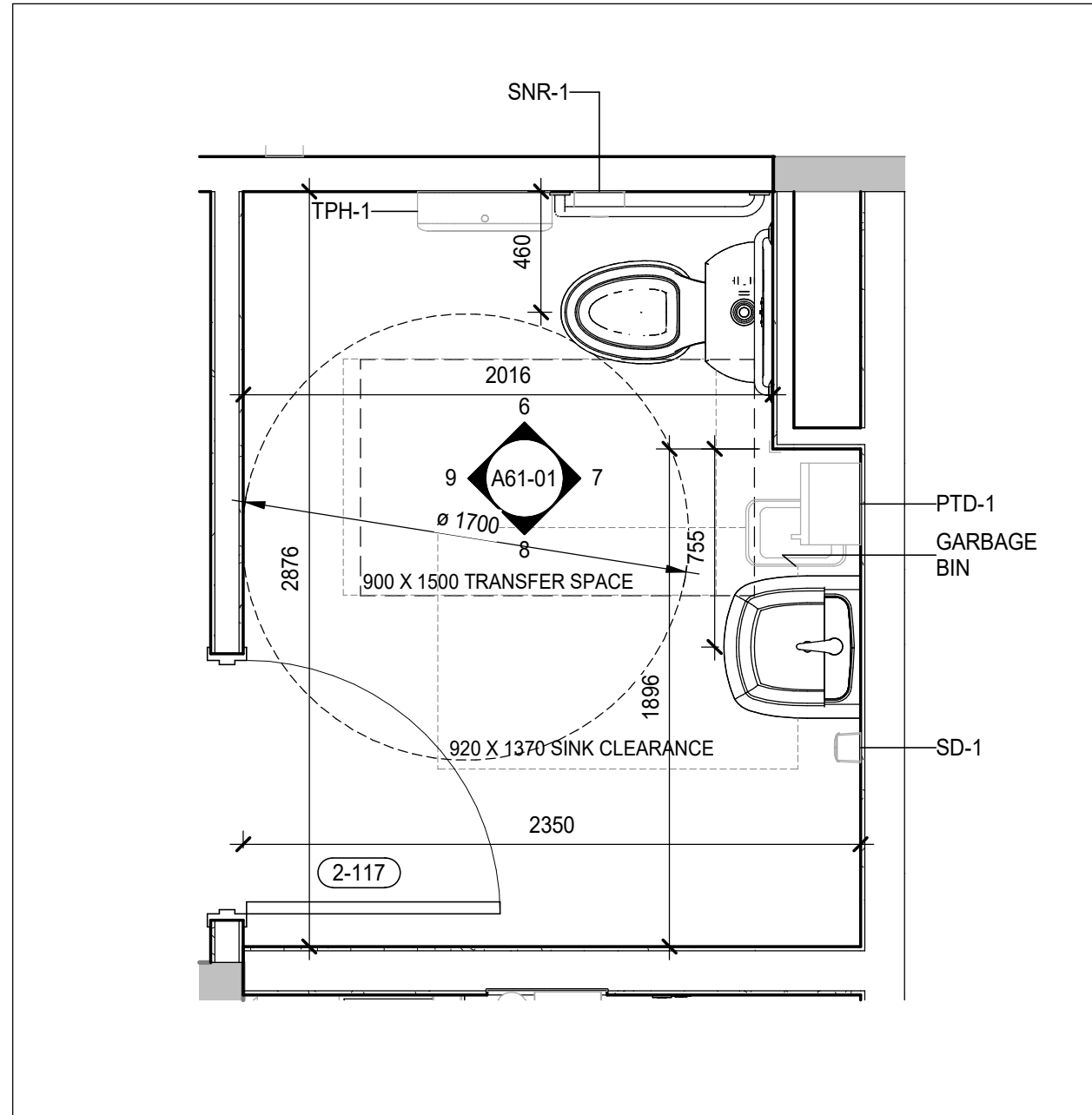


9 PATIENT WASHROOM ELEVATION 4
A61-01 SCALE: 1 : 25

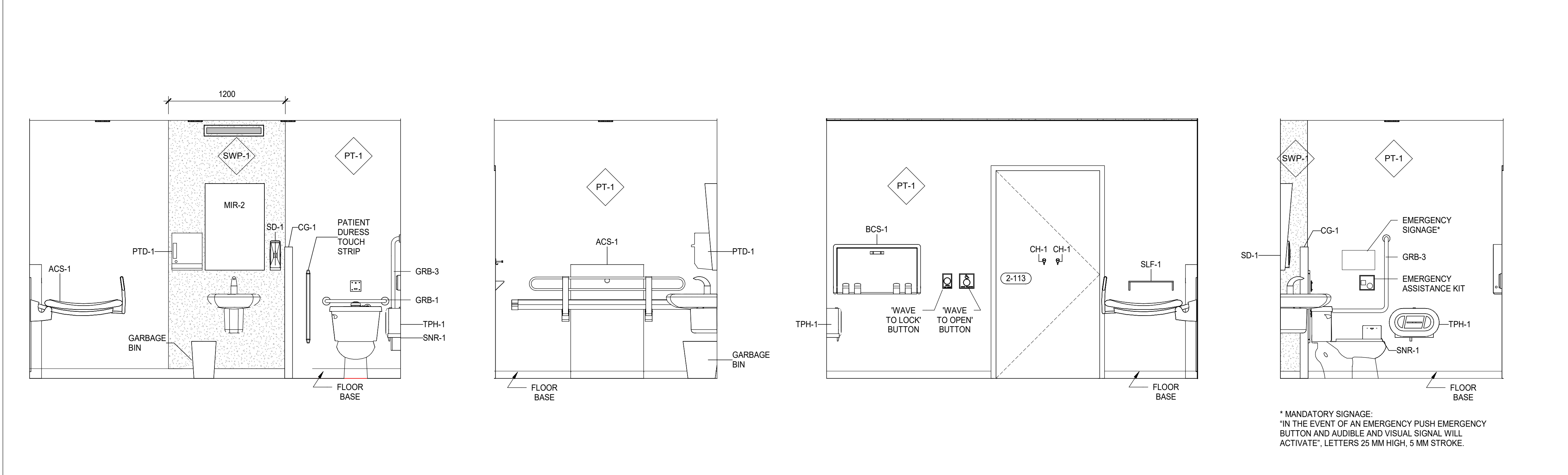
8 PATIENT WASHROOM ELEVATION 3
A61-01 SCALE: 1 : 25

7 PATIENT WASHROOM ELEVATION 2
A61-01 SCALE: 1 : 25

6 PATIENT WASHROOM ELEVATION 1
A61-01 SCALE: 1 : 25



66 PATIENT WASHROOM
A61-01 SCALE: 1 : 25

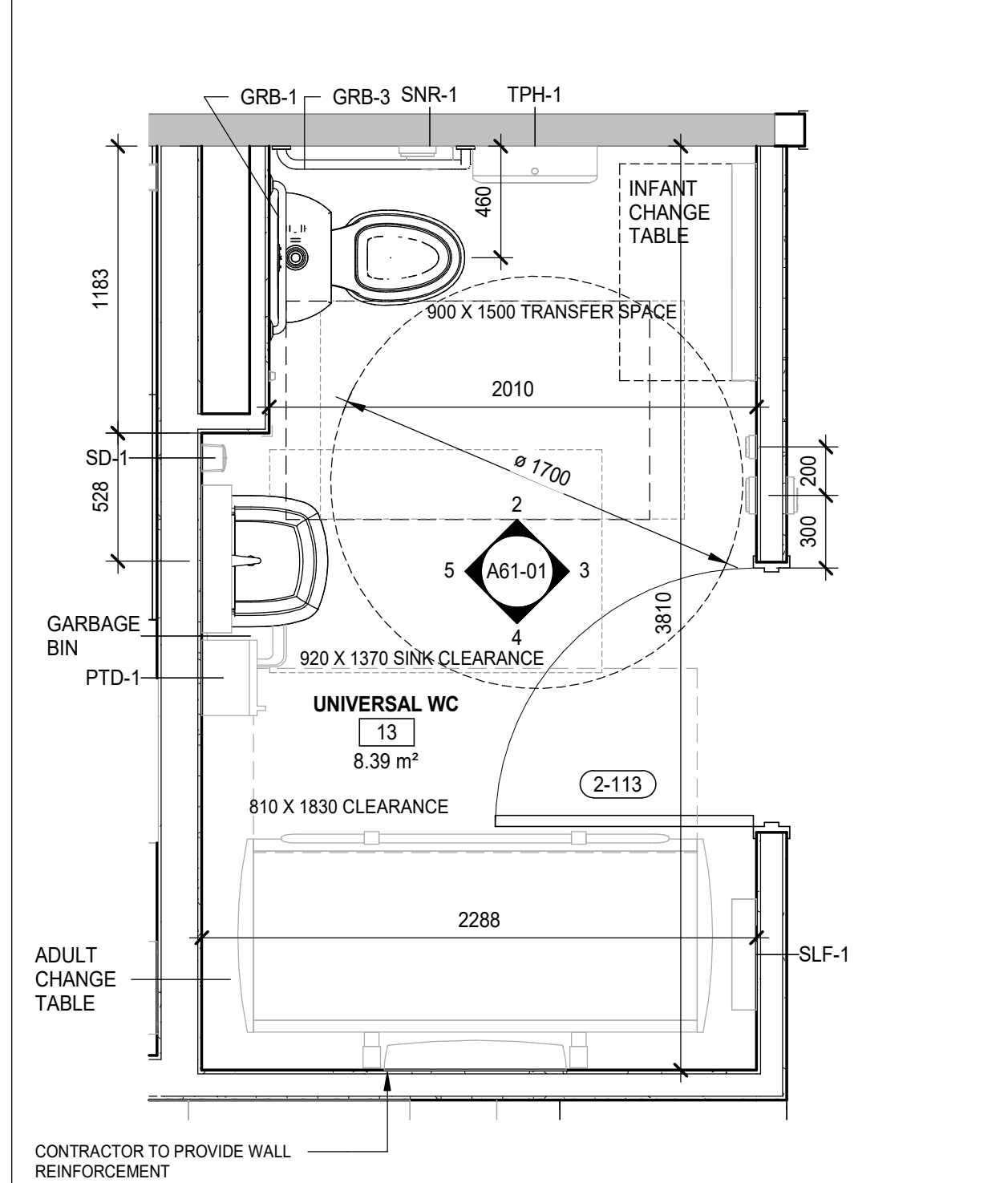


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A61-01 SCALE: 1 : 25

4 UNIVERSAL WASHROOM ELEVATION 3
A61-01 SCALE: 1 : 25

3 UNIVERSAL WASHROOM ELEVATION 2
A61-01 SCALE: 1 : 25

2 UNIVERSAL WASHROOM ELEVATION 1
A61-01 SCALE: 1 : 25

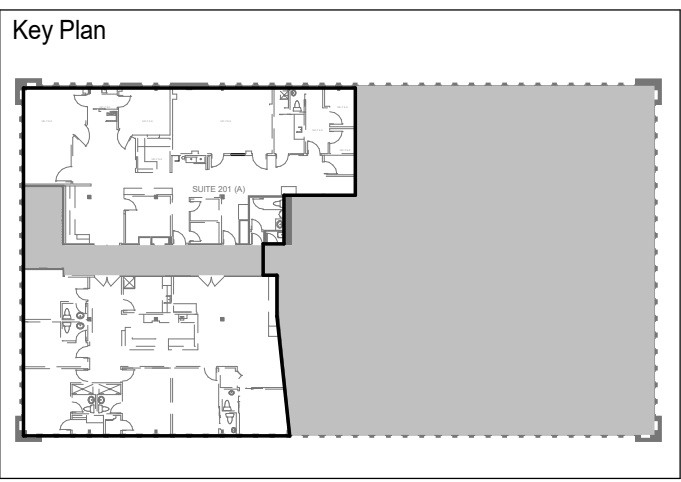


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A61-01 SCALE: 1 : 25

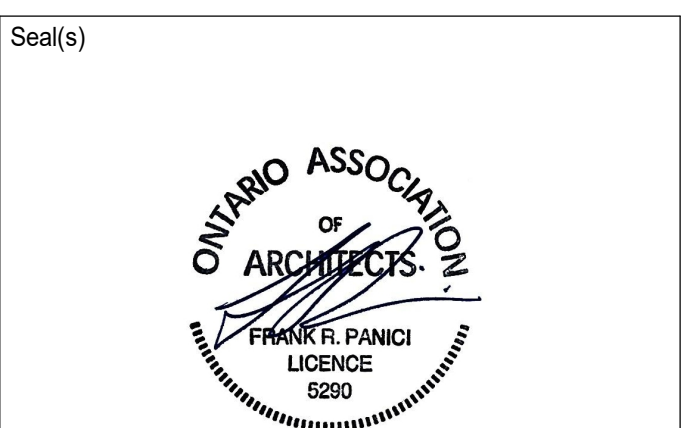
4

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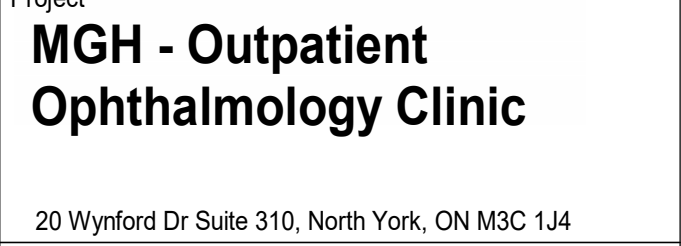
Consultants	
Survey:	N/A
Civil:	N/A
Architecture:	NORR
Structural:	NORR
Mechanical:	Zdesign+ Ltd.
Electrical:	Zdesign+ Ltd.
Interiors:	NORR
Landscape:	N/A



NORR

NORR OFFICE ADDRESS
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Project Manager J. MOORE	Drawn Author
Project Leader G. MILANI	Checked Checker
Client	



Project
MGH - Outpatient Ophthalmology Clinic

20 Wynford Dr Suite 310, North York, ON M3C 1J4

Drawing Title
WASHROOM PLANS AND ELEVATIONS

Scale	1 : 25
Project No.	HS1025-0189
Drawing No.	A61-01

ADDENDUM No. 2

To: Norr
Att.: James Moore

DATE

November 27, 2025

PROJECT No. 242519

20 Winford – eye clinic

ISSUED BY

Zaro Dimitrov
Zdesign+ Ltd.

SUBJECT

Drawings update

1. Drawing M-010 Schedules
 - .1 SSU schedule added
2. Drawing M-101
 - .1 Notes 6&7 revised, Naylor removed
3. Drawing M-301
 - .1 Notes 3&4 revised, Naylor removed
4. Drawing E-301 Power and Data
 - .1 Note 6 revised for 20kVA UPS and to include 1year service
 - .2 Power for three (3) door operators added
5. Drawing E-302 Systems
 - .1 Note c. to include 1year service
 - .2 Note 5 revised to 1"
6. Drawing E-303 Security
 - .3 Three door operators added
7. Drawing E-305 Power basement
 - .1 Note 3 revised to 1"
8. Drawing E-701 SLD
 - .1 1/E-701 main breaker size revised to 70A; panel feeders re-sized
 - .2 2/E-701 main breaker size revised to 125A; panel feeder re-sized
 - .3 panelboards schedules added

Zaro Dimitrov P.Eng.

DATE	ISSUED FOR	REV
2025-10-16	Review	A
2025-10-28	Review	B
2025-11-05	Permit and tender	0
2025-11-27	Addendum 2	1

Consultants

Zdesign+ Ltd.

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Toronto, ON M4M 2S1
(416) 837-2736

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Consultants
Survey:
Civil:
Architecture:
Structural:
Mechanical:
Electrical:
Interiors:
Landscapes:

Seal(s)

NORR

NORR Architects & Engineers Limited

175 Bloor Street East
North Tower, 15th Floor
Toronto, ON, Canada M4W 3R8
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Project Manager	Drawn	SM
Project Leader	Checked	ZD

Client

MICHAEL
GARRON
HOSPITAL
TORONTO EAST HEALTH NETWORK

Project
**MGH - Outpatient
Ophthalmology Clinic**

20 Wynford Dr Suite 310, North York, ON M3C 1J4
Drawing Title

SCHEDULES, LEGEND
AND DRAWINGS LIST

Scale

Project No.
242519

Drawing No.
M-010

DRAWING LIST	
DWG. NO.	DESCRIPTION
M-010	SCHEDULES, LEGEND & DRAWINGS LIST
M-011	TYPICAL DETAILS
M-020	SPECIFICATIONS
M-101	DUCTWORK DEMOLITION
M-102	PLUMBING DEMOLITION
M-102	PLUMBING DEMOLITION – LOWER LEVEL
M-301	DUCTWORK
M-401	PLUMBING
M-402	PLUMBING – LOWER LEVEL

LEGEND:

	EXISTING DUCTWORK TO REMAIN
	DUCTWORK TO DEMOLISH
	NEW DUCTWORK
	DIFFUSER TO DEMOLISH
	GRILLE TO DEMOLISH
	EXISTING DIFFUSER TO REMAIN
	EXISTING GRILLE TO REMAIN
	NEW DIFFUSER
	NEW GRILLE
	2x4 HEPA OR LAB DIFFUSER
	2x4 HEPA FAN-FILTER UNIT
	REHEAT COIL
	14x14 LOW-LEVEL RETURN/EXHAUST GRILLE, 400x150 DUCT TO 200A.F.F.
	SPINN-OFF DAMPER
	BALANCING DAMPER
	THERMOSTAT
	ROOM PRESSURE MONITOR
	FIXTURE TO DEMOLISH
	EXISTING FIXTURE
	NEW FIXTURE-SINK, LAVATORY, BASIN, (TYP.)
	P-TRAP
	DOMESTIC COLD WATER
	DOMESTIC HOT WATER
	HOT WATER RECIRCULATION
	SANITARY DRAIN
	SANITARY DRAIN BELOW SLAB
	SANITARY VENT

PLUMBING FIXTURES

L-1 HANDWASH SINK

AMERICAN STANDARD #9118911 ICU, WALL HUNG BASIN, CENTRE FAUCET HOLE, SEALED OVERFLOW, FOR CONCEALED ARM CARRIER, INTEGRAL PEDESTAL, DEEP BASIN, SLOPED LEDGES AND OFFSET DRAIN TO MINIMIZE SPLASHING.

- OPEN GRID STRAINER:OS&B 3737, DAISY PATTERN CONVEX DOME GRID, CHROME FINISH, CAST BRASS, 17 GAUGE 1-1/4", 6" BRASS TAILPIECE, LOCKNUT, HEAVY RUBBER GASKET
- SEMI-CAST P-TRAPS WITH WALL BEND: ZURN #Z8701-PC, C.P. 11/4" C/W CLEANOUT AND ESCUTCHEON.
- BASIN SUPPLY COLD WATER: BRASS CRAFT SSR19X 3/4" SWEAT X 3/8" OD COMPRESSION WITH LOCK SHIELD, SCREWDRIER SLOT, CHROME PLATED, TRAY, MULTI TURN ANGLE STOP W/ LOCK SHIELD SCREWDRIER SLOT
- BASIN SUPPLY HOT WATER: BRASS CRAFT KTSR19X 3/4" SWEAT X 3/8" OD COMPRESSION, CHROME PLATED 1/4 TURN ANGLE BALL STOP W/ LOOSE KEY
- RISERS: FLEXIBLE SS BRAIDED WATER SUPPLY CONNECTORS 3/8"COMPX3/8"COMPX20"
- ESCUTCHEON: BRASS CRAFT 649 STAINLESS STEEL SHALLOW FLANGE -5/8"OD TUBE
- THERMOSTATIC MIXING VALVE: RWG, CASH ACME HEATGUARD 135 W/ CHECK VALVES & FITTING ASSEMBLY
- CARRIER: JAY R. SMITH #50-0-4437, WITH STEEL PIPE LEGS, BLOCK BASE FEET SUPPORT
- SELECTRONIC I.C. ELECTRONIC PROXIMITY LAVATORY FAUCET: MODEL #605B.193
- 1.5GPM BASE MOUNTED LAMINAR FLOW CONTROL
- PLAIN END SPOUT
- AUTO PURGE FEATURE

POWER KIT: PK00HAC INCLUDES UNIVERSAL HARD-WIRED AC TRANSFORMER AND 10FT EXTENSION CABLE

L-2 LAVATORY

AMERICAN STANDARD #955.901EG "MURRO", WALL HUNG BASIN, CENTER FAUCET HOLE, SEALED OVERFLOW, FOR CONCEALED ARM CARRIER, AMERICAN STANDARD #0059.020EC PEDESTAL.

- OPEN GRID STRAINER:OS&B 3737, DAISY PATTERN CONVEX DOME GRID, CHROME FINISH, CAST BRASS, 17 GAUGE 1-1/4", 6" BRASS TAILPIECE, LOCKNUT, HEAVY RUBBER GASKET
- SEMI-CAST P-TRAPS WITH WALL BEND: ZURN #Z8700-PC, C.P. 1-1/4" C/W CLEANOUT AND ESCUTCHEON.
- BASIN SUPPLY: BRASS CRAFT SSR19X C 3/4" SWEAT X 3/8" OD COMPRESSION WITH LOCK SHIELD, SCREWDRIER SLOT, CHROME PLATED, TRAY
- RISERS: FLEXIBLE SS BRAIDED WATER SUPPLY CONNECTORS 3/8"COMPX3/8"COMPX20"
- ESCUTCHEON: BRASS CRAFT 649 STAINLESS STEEL SHALLOW FLANGE -5/8"OD TUBE
- THERMOSTATIC MIXING VALVE: RWG, CASH ACME HEATGUARD 135 W/ CHECK VALVES & FITTING ASSEMBLY
- CARRIER: JAY R. SMITH #0700-2 BASIN CARRIER, WITH STEEL PIPE LEGS, BLOCK BASE FEET SUPPORT AND CONCEALED ARMS.

SELECTRONIC I.C. ELECTRONIC PROXIMITY LAVATORY FAUCET: MODEL #605B.193

- 1.5GPM BASE MOUNTED LAMINAR FLOW CONTROL
- PLAIN END SPOUT
- AUTO PURGE FEATURE

POWER KIT: PK00HAC INCLUDES UNIVERSAL HARD-WIRED AC TRANSFORMER AND 10FT EXTENSION CABLE

EYEW-EWASH

- HAWS MODEL 7610 AXION MSR SINK MOUNT EYE/FACE WASH C/W:
- DECK MOUNTED, BARRIER FREE
- AXION MSR EYE/FACE WASH HEAD FOR INVERTED DIRECTIONAL LAMINAR FLOW WITH ZERO VERTICAL VELOCITY
- POLISHED CHROME BRASS BODY SINGLE ACTION PULL DOWN ACTIVATION VALVE
- MODEL 9201EFE AXION THERMOSTATIC MIXING VALVE FOR 12GPM FLOW
- YELLOW PLASTIC POP-OFF DUST COVER FOR EYEWASH HEAD
- SELF-ADHESIVE HIGH VISIBILITY SAFETY GREEN AND BRIGHT YELLOW STRIPES, UNIVERSAL SIGN

EYW-2 EYEWASH

EMERGENCY EYE/FACE WASH: WALL MOUNTED, HAWS #7260BT: WALL MOUNTED, 279MM DIAMETER BOWL WITH DUST COVER, LAMINAR FLOW EYE/FACE WASH HEAD WITH FLIP TOP DUST COVER AND FILTER, POWDER COATED ALUMINUM FLAG-HANDLE ACTIVATION, 13MM CHROME PLATED BRASS STAY-OPEN BALL VALVE WITH TEFLON SEAL, HEAVY DUTY CAST ALUMINUM WALL BRACKET WITH CORROSION RESISTANT POWDER COATED FINISH,32MM FEMALE OUTLET, TO MEET ANSI Z358.1-2014 REQUIREMENT

THERMOSTATIC MIXING VALVE, MODEL 9201AXION, 10GPM: LEAD-FREE BRASS AND STAINLESS STEEL, VANDAL RESISTANT TEMPERATURE ADJUSTMENT, STAINLESS STEEL SLIDING PISTON CONTROL DEVICE, 12MM NPT OUTLET, POSITIVE HOT WATER SHUT-OFF, TEMPERATURE GAUGE, LIQUID-FILLED THERMOSTATIC MOTOR CONTROL MECHANISM, 25C FACTORY SET TEMPERATURE, 6.9GPM FLOW CAPACITY AT 30 PSI PRESSURE DROP ACROSS THE VALVE.

P-TRAP, ZURN - Z8700-PC-B-0: 1-1/2", CHROME PLATED HEAVY CAST BRASS WITH CLEANOUT, TUBULAR BRASS WALL BEND, DIECAST NUT WITH SLIP NUT, SHALLOW ESCUTCHEON WITH COMPRESSION INLET.

S-1, S-2 INTEGRAL SINK

- SINK BOWL INTEGRAL WITH SS COUNTER - PRE-FABRICATED
- DRAIN: 31/2"OPEN GRID STRAINER, 1-1/2" BRASS TAIL PIECE
- SEMI-CAST P-TRAP WITH WALL BEND: ZURN #Z8702-PC, C.P. 1-1/2" C/W CLEANOUT AND ESCUTCHEON
- BASIN SUPPLY: BRASS CRAFT SSR19X C 3/4" SWEAT X 3/8" OD COMPRESSION WITH LOCK SHIELD, SCREWDRIER SLOT, CHROME PLATED, TRAY
- RISERS: FLEXIBLE SS BRAIDED WATER SUPPLY CONNECTORS 3/8"COMPX3/8"COMPX20"
- ESCUTCHEON: BRASS CRAFT 649 STAINLESS STEEL SHALLOW FLANGE -5/8"OD TUBE.

DECK-MOUNT FAUCET: AMERICAN STANDARD, MONTEREY #6409.180L, C.P. CAST-BRASS BODY, 8" CENTRES, 4" BLADE HANDLES C/W SANITARY HOODS AND COLOR INDICATORS, 8" GOOSENECK SPOUT, 2GPM, PLAIN END.

S-3 KITCHEN SINK

- FRANKE #LBS700BP-1, LEDGE DROP IN SINK, 1-COMPARTMENT, BOWL 20Wx18Lx8D, CENTER REAR DRAIN HOLE.
- DRAIN: 31/2"OPEN GRID STRAINER, 1-1/2" BRASS TAIL PIECE
- SEMI-CAST P-TRAPS WITH WALL BEND: ZURN #Z8702-PC, C.P. 1-1/2" C/W CLEANOUT AND ESCUTCHEON
- BASIN SUPPLY: BRASS CRAFT SSR19X C 3/4" SWEAT X 3/8" OD COMPRESSION WITH LOCK SHIELD, SCREWDRIER SLOT, CHROME PLATED, TRAY
- RISERS: FLEXIBLE SS BRAIDED WATER SUPPLY CONNECTORS 3/8"COMPX3/8"COMPX20"
- ESCUTCHEON: BRASS CRAFT 649 STAINLESS STEEL SHALLOW FLANGE -5/8"OD TUBE.

DECK-MOUNT FAUCET: ZURN MODEL# Z812C4-XL, C.P. CAST-BRASS BODY, 4" CENTRES, 4" BLADE HANDLES C/W SANITARY HOODS AND COLOR INDICATORS, 8" GOOSENECK SPOUT, 2GPM, PLAIN END.

MS_MOP SINK

STERN-WILLIAMS MTB-2424, PRE-CAST TERRAZZO MOP SINK 24"x24", BLACK AND PEAR MARBLE CHIPS, WHITE CEMENT DRAIN: 3" CAST BRASS DRAIN, SS DOMED STRAINER

FAUCET: AMERICAN STANDARD #8344.112.002 "HERITAGE", WALL MOUNTED, 8" CENTRES, SOLID CAST BRASS BODY, POLISHED CHROME, TOP BRACE

T-1 BARRIER-FREE TANK TOILET

- AMERICAN STANDARD, #2093.100 020, GLENWALL PRESSURE-ASSISTED ELONGATED LOW CONSUMPTION TOILET, WHITE VITREOUS CHINA.
- WALL HUNG, SIPHON, JET FLUSH ACTION, 6L (1.6 USGAL) PER FLUSH, RAISED SANITARY BAR (12"x10").
- WATER SURFACE TWO PIECE "SPEED CONNECT" TANK ASSEMBLY, UNBOLTED TANK COVER, ELONGATED BOWL, 2" FULLY GLAZED INTERNAL TRAPWAY, BOLT CAPS.
- MOUNT FIXTURE 16"(406MM) ABOVE FINISHED FLOOR TO RIM OF TOILET (OR AS INDICATED)
- PROVIDE TRIP LEVER ON OPEN (WIDE) SIDE OF THE TOILET.
- CENTRO, #2025TS.001 TOILET SEAT, EXTRA HEAVY DUTY, FOR ELONGATED BOWL, OPEN FRONT, WIDE SOLID PLASTIC WITH COVER, SS HINGES, POSTS, WASHERS AND NUTS.
- MOQUIRE, #FHT28V TOILET SUPPLY CHROME PLATED POLISH BRASS, COMMERCIAL DUTY 1/4 TURN BALL VALVE, C/W POLISHED, RIGID HORIZONTAL INTEGRAL SWEAT TUBE WITH V.P. COMBINATION WHEEL HANDLE ESCUTCHEON AND FLEXIBLE COPPER RISER.
- WATTS #WSCA-101-M11 SINGLE HORIZONTAL ADJUSTABLE TOILET CARRIER, FLOOR MOUNTED, EPOXY COATED FITTINGS, 4"WASTE, 2"VENT

FD FLOOR DRAIN

ZURN ZN415-SB FLOOR DRAIN, DURA-COATED CAST IRON BODY WITH BOTTOM OUTLET AND TYPE B POLISHED NICKEL BRONZE STRAINER

SSU-1 SURGEON SCRUB SINK

- FRANKE #SSU 1-10: SINGLE COMPARTMENT, 16 GAUGE TYPE 304 STAINLESS STEEL, POLISHED #4 SATIN FINISH, RADIUS COVERED BOWL CORNERS, 30x23 OVERALL
- DRAIN: INTEGRAL 1-1/2" SS TAIL PIECE
- CARRIER: TWO (2) FRANKE #1WC2203
- SEMI-CAST P-TRAP WITH WALL BEND: ZURN #Z8702-PC, C.P. 1-1/2" C/W CLEANOUT AND ESCUTCHEON
- BASIN SUPPLY: BRASS CRAFT SSR19X C 3/4" SWEAT X 3/8" OD COMPRESSION WITH LOCK SHIELD, SCREWDRIER SLOT, CHROME PLATED, TRAY
- RISERS: FLEXIBLE SS BRAIDED WATER SUPPLY CONNECTORS 3/8"COMPX3/8"COMPX20"
- ESCUTCHEON: BRASS CRAFT 649 STAINLESS STEEL SHALLOW FLANGE -5/8"OD TUBE.

FAUCET: FRANKE AQUARIUS #AT03-043AC, HIGH POLISH, C/W MIX-LW THERMOSTATIC MIXING VALVE, AC POWERED.

SSU-2 SURGEON SCRUB SINK

- FRANKE #SSU 2-10: SINGLE COMPARTMENT WITH A DIVIDER, 16 GAUGE TYPE 304 STAINLESS STEEL, POLISHED #4 SATIN FINISH, RADIUS COVERED BOWL CORNERS, 60x23 OVERALL
- DRAIN: INTEGRAL 1-1/2" SS TAIL PIECE
- CARRIER: FRANKE #1WC2203
- SEMI-CAST P-TRAP WITH WALL BEND: ZURN #Z8702-PC, C.P. 1-1/2" C/W CLEANOUT AND ESCUTCHEON
- BASIN SUPPLY: BRASS CRAFT SSR19X C 3/4" SWEAT X 3/8" OD COMPRESSION WITH LOCK SHIELD, SCREWDRIER SLOT, CHROME PLATED, TRAY
- RISERS: FLEXIBLE SS BRAIDED WATER SUPPLY CONNECTORS 3/8"COMPX3/8"COMPX20"
- ESCUTCHEON: BRASS CRAFT 649 STAINLESS STEEL SHALLOW FLANGE -5/8"OD TUBE.

FAUCET: TWO (2) FRANKE AQUARIUS #AT03-043AC, HIGH POLISH, C/W MIX-LW THERMOSTATIC MIXING VALVE, AC POWERED.

FAN-FILTER UNIT

FFU

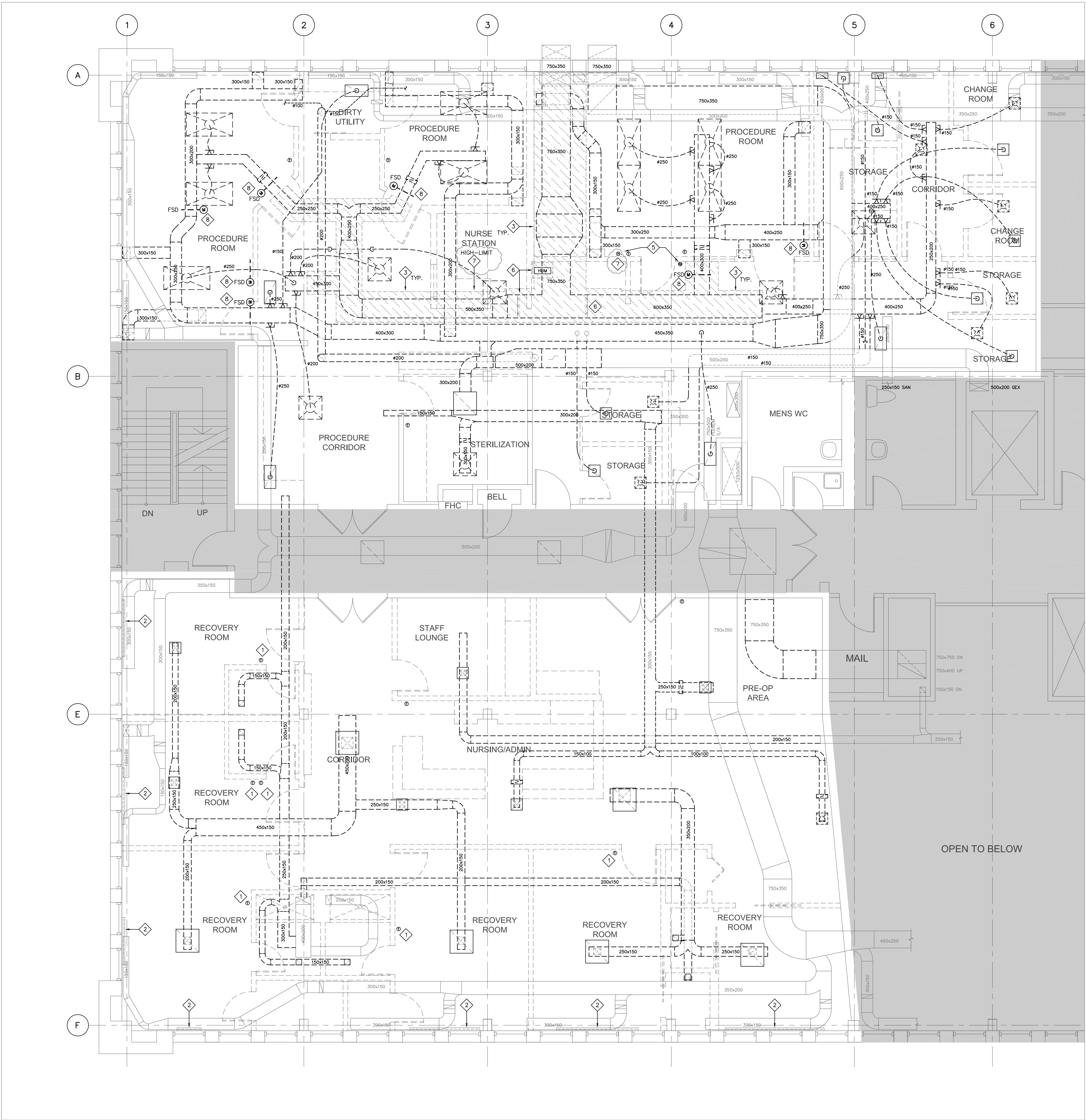
- 2x4 FAN-FILTER UNIT NAILOR 92FFU OR EQUAL
- 2" HEPA FILTER C/W KNIFE EDGE, ROOM SIDE REPLACEABLE
- ALUMINUM CONSTRUCTION, WHITE POWER COATING
- DUCTED CONNECTION, WASHABLE FILTER
- BACKWARD CURVED WHEEL FAN, ECM MOTOR, 115V
- CONSTANT FLOW OPERATION
- STANDARD ECM CONTROLLER
- WALL MOUNTED SPEED DIAL 0-10V
- FILTER AND MOTOR STATUS LIGHTS KIT
- 1/2" ROOM SIDE AEROSOL INJECTION PORT
- ROOM SIDE TEST PORT

REHEAT COILS

RC 1-2

- TERMINAL REHEAT BOOSTER COIL THERMOLEC OR EQUAL
- ECP EAT, 80 LAT
- 3 CONTROL STEPS
- PANEL WITH CONTACTORS AND FUSSES
- ELECTRONIC THERMOSTAT

NOTE: FOR SIZING REFER TO DUCT SIZE AND TOTAL CFM



GENERAL:

- 1 DEMOLISH DUCTWORK. REMOVE GRILLES AND DIFFUSERS AS SHOWN. CAP AND SEAL REMAINING DUCTWORK.
- 2 REMOVE ELECTRIC HEATING COILS WHERE DUCTWORK IS BEING DEMOLISHED. COORDINATE WITH ELECTRICAL REMOVAL OF POWER FEEDERS AND LINE VOLTAGE THERMOSTATS.
- 3 TOP LEVEL OF DUCTWORK, THAT SERVES THE THIRD FLOOR, TO REMAIN.
- 4 ROOF-TOP UNIT AND HUMIDIFIER TO BE REUSED. RETAIN NAYLOR MECHANICAL. THE BASE BUILDING MAINTENANCE SERVICE PROVIDER, TO DECOMMISSION AND MAKE EQUIPMENT SAFE AND TO SECURE FOR REUSE.

NOTES:

- 1 LINE VOLTAGE THERMOSTAT TO RELOCATE, SERVES ELECTRICAL COIL BELOW SLAB, THAT SERVES THIS SPACE. COORDINATE WITH ELECTRICAL.
- 2 SLOT DIFFUSER FED FROM BELOW - TO REMAIN.
- 3 SUPPLY DUCTWORK IS IN TWO-LAYER GYPSUM BOARD ENCLOSURE. DEMOLISH DUCTWORK AND ENCLOSURE. COORDINATE REMOVAL OF GYPSUM BOARD WITH THE GC.
- 4 SUPPLY DUCTWORK IN TWO-LAYER GYPSUM BOARD ENCLOSURE. COORDINATE REMOVAL OF GYPSUM BOARD WITH THE GC.
- 5 RTU THERMOSTAT, HUMIDIFIER HUMIDISTAT AND DIFFERENTIAL PRESSURE MONITOR - REMOVED BY NYLOR.
- 6 REMOVE HUMIDIFIER AND TWO STEAM DISPERSION GRIDS - TO REUSE. DEMOLISH ALL INTERCONNECTING PIPING.
- 7 REMOVE HUMIDISTAT - TYP.
- 8 REMOVE FIRE-SMOKE DAMPER, POWER AND FIRE ALARM CONNECTION TO BE REMOVED BY ELECTRICAL, COORDINATE ON SITE BEFORE PROCEEDING.

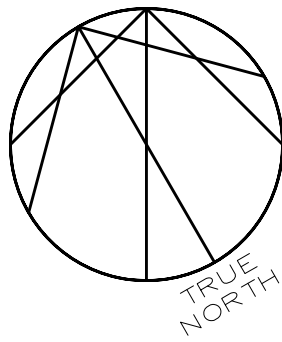
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2025-11-27	Addendum 2	1

Consultants

Zdesign+ Ltd.

181 Carlaw Avenue, Suite 211
Toronto, ON M4M 2S1
(416) 837-2736

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Consultants

Survey:
Civil:
Architecture:
Structural:
Mechanical:
Electrical:
Interiors:
Landscape:

Seal(s)

NORR

NORR Architects & Engineers Limited

175 Bloor Street East
North Tower, 15th Floor
Toronto, ON, Canada M4W 3R8
norr.com

Project Manager	Drawn	SM
Project Leader	Checked	ZD

Client



Project
**MGH - Outpatient
Ophthalmology Clinic**

20 Wynford Dr Suite 310, North York, ON M3C 1J4
Drawing Title

DUCTWORK
DEMOLITION

Scale

1:50

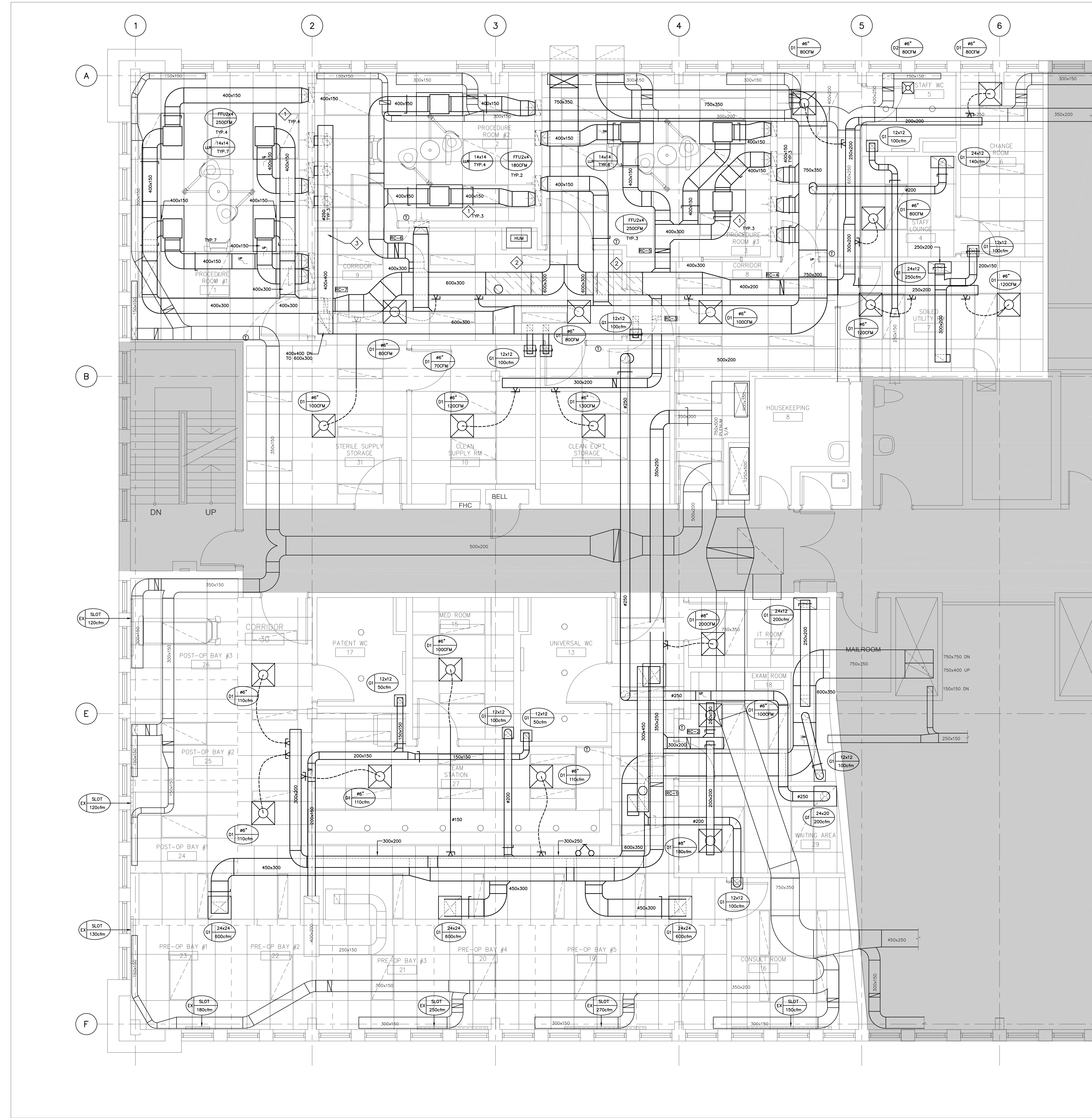
Project No.

242519

Drawing No.

M-101

DATE	ISSUED FOR	REV
2025-10-16	Review	A
2025-10-28	Review	B
2025-11-05	Permit and tender	0
2025-11-27	Addendum 2	1



GENERAL:

1 PROVIDE DIFFUSERS AND GRILLES AS PER SCHEDULE:

GRILLES&DIFFUSERS SCHEDULE		
D1	24x24SPD31B12	E.H.PRICE
D1	12x12SPD31B12	E.H.PRICE
G1	EGGGRATE80TB/B12	E.H.PRICE
LLR	14x14 SIZE, 530FF/SM/B12	E.H.PRICE

PROVIDE 12"-DEEP BACK BOX FOR THE EGGGRATE GRILLES.
SPRAY-PAINT BLACK THE INTERIOR OF THE BOX.

3 RETAIN A LICENSED MECHANIC TO RECOMMISSION THE RTU, CONDUCT FULL INSPECTION INCLUDING, BUT NOT LIMITED TO COMPRESSORS, HEAT EXCHANGER, COILS, DAMPERS AND CONTROLS. ALLOW FOR NEW SHEAVES AND BELTS, AS NECESSARY FOR THE AIR BALANCING. ALLOW FOR NEW TOUCH SCREEN THERMOSTAT.

4 RETAIN NORTEC REPRESENTATIVE TO RECOMMISSION THE EXISTING NH-EL-100 HUMIDIFIER. INSTALL HUMIDIFIER, THE DISPERSION WANDS, ALL NECESSARY PIPING AND CONTROLS AS PER NORTEC REQUIREMENTS. THE POWER FEEDER WILL BE TERMINATED BY ELECTRICAL. ALLOW FOR NEW BOTTLE, HUMIDISTAT AND HIGH-LIMIT HUMIDISTAT.

5 ALL SUPPLY AND RETURN DUCTWORK SHALL BE CLEAN. ALL DUCT PIECES SHALL BE DELIVERED TO THE SITE WITH ENDS SEALED WITH PLASTIC FILM. REMOVE SEALS ONLY PRIOR TO INSTALLATION. DO NOT LEAVE OPEN ENDS.

6 PROVIDE TWO SETS OF 14x14" MERV8 FILTERS FOR THE LO LEVEL RETURN GRILLES. INSTALL ONE SETS OF FILTERS UPON INSTALLATION OF THE GRILLES. INSTALL THE SECOND SET OF FILTERS PRIOR TO START-UP.

7 CSA Z-317.2 AIR FLOWS COMPLIANCE MATRIX.

ROOM #	ROOM	AREA	CSA		DESIGN	
			ACH (1)	SUPPLY cfm	RETURN cfm	EXIST cfm
1	PROCEDURE ROOM #1	358	20	1015	1020	
2	PROCEDURE ROOM #2	252	20	713	720	
3	PROCEDURE ROOM #3	312	20	884	890	
4	STAFF LOUNGE	189	6	161	160	140
5	STAFF W/R	50	9			50
6	CHANGE ROOM	115	4	65	80	100
7	SOILED UTILITY	188	10	238	240	280
8	CORRIDOR	224	3	95	100	80
9	CORRIDOR	350	3	149	150	180
10	CLEAN SUPPLY	135	6	115	120	100
11	CLEAN STORAGE	155	6	132	130	110
12	HOUSEKEEPING	73	10			100
31	STERILE STORAGE	95	6	81	100	100
13	UNIVERSAL W/R	95				50
14	IT ROOM	74		200	200	
15	MEDROOM	112	6	95	100	100
16	CONSULT ROOM	106	6	90	90	50
17	PATIENT W/R	75				
18	EXAM ROOM	123	6	104	100	100
19-23	PRE-OP BAY	442	6	378	420	420
24-26	POST-OP BAY	297	6	252	280	280
27	TEAM STATION	247	6	210	220	220
29	WAITING	198	12	338	180	
30	CORRIDOR	489	3	208	220	200

(1) AIRCHANGES AS PER CSA-Z317.2, TABLE-1

NOTES:

1 INSTALL FFU SUPPORTED FROM ALL FOUR CORNERS C/W AIRPLANE CABLE AND ADJUSTABLE TURNBUCKLES. SUPPORT FROM THE JOISTS. ALLOW FOR TWO 7FT LENGTHS OF UNISTRUT TO SPAN BETWEEN THE JOISTS.

2 PROVIDE 150MM LONG SS DUCT WITH SLOPED BOTTOM AND DRAIN PORT. CONNECT TO DRAIN C/W AIR-GAP.

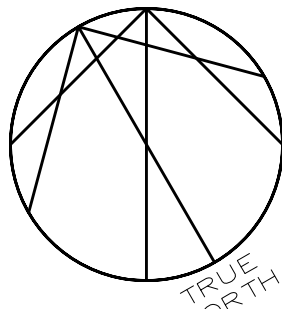
3 RUN DUCT ABOVE HIGH UP BETWEEN THE JOISTS.

Consultants

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Project Manager Drawn SM

Project Leader Checked ZD

Client



Project
**MGH - Outpatient
Ophthalmology Clinic**

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Drawing Title

DUCTWORK

Scale

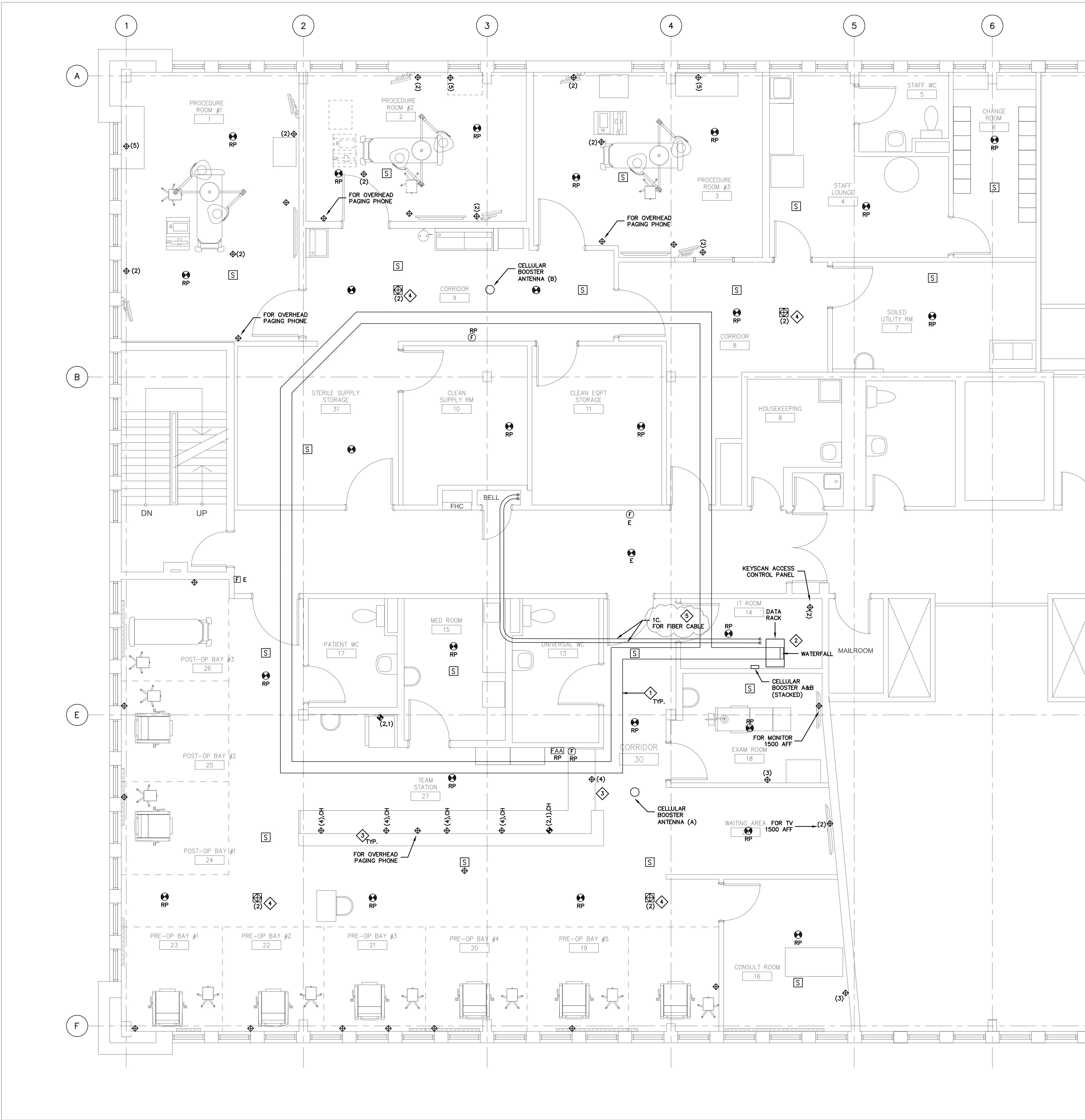
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Project No.

242519

Drawing No.

M-301



NOTES:

- a. FOR EXACT LOCATION AND ELEVATION RECEPTACLES AND DEVICES SEE ARCHITECTURAL. COORDINATE WITH GC ON SITE DETAILS OF FURNITURE.
- b. VOICE/DATA CABLING SHALL BE AS PER MGH STANDARD.

DATA CABLING SPECIFICATIONS:

- PROVIDE BELDEN 2-POST DATA RACK WITH SIDE CABLE MANAGERS, XCMFDR4X4.
- PROVIDE TWO (2) BELDEN 1PH/208V 30A POWER DISTRIBUTION UNITS (PDU) AND MOUNT ON THE RACK.
- PROVIDE HORIZONTAL CABLE MANAGER ON RACK - SEE SECTION 3.1 OF THE "MGH NETWORK CABLING & NETWORK CLOSET STANDARDS & GUIDELINES".
- PROVIDE RACK MOUNTED UPS: APC SMART-UPS, LINE INTERACTIVE, 1500VA, 2U, 120V, 6ANEMA 5-15R OUTLETS, SMARTCONNECT PORT, SMARTSLOT, AVR AND LCD.
- PROVIDE TWO(2) BELDEN 1U 48 PORT HD.
- INSTALL OWNER SUPPLIED NETWORK SWITCHES.
- CONNECT ALL DATA OUTLETS TO THE NEW RACK IN IT ROOM 12.
- HORIZONTAL CABLING SHALL BE CAT 6A (SLIM), PLENUM-CMP, RATED, 4PR, 23 AWG, COLOR WHITE.
- OVERALL HORIZONTAL PERMANENT LINK LENGTH SHALL NOT EXCEED 90M.
- ALL HORIZONTAL CABLES SHALL TERMINATE ON CAT6A HIGH DENSITY MODULAR RACK MOUNTED PATCH PANELS.
- CABLING CONTRACTOR RESPONSIBLE FOR FURNISHING ALL LABOUR, MATERIALS, SUPPLIES AND PERFORMING ALL OPERATIONS NECESSARY TO COMPLETE THE CATEGORY 6A INSTALLATION.
- JACK TERMINATIONS SHALL BE BELDEN, KEYCONNECT, RJ45 CAT 6A, YELLOW COLOR AS PER MGH STANDARD.
- INSTALL OWNER SUPPLIED WAPs C/W PATCH TO THE RACK.
- CONDUCT WIRELESS SITE SURVEY TO DETERMINE EXACT COUNT AND LOCATION OF WAPs. USE ONE OF THE MGH APPROVED PROVIDERS - RDEL, TOP OR COMWORK.
- SUPPLY 2 PATCH CABLES PER EACH DATA CABLE (1- 7FT & 1-10FT.) PATCH CABLES SHALL BE BELDEN, CAT 6A OXS, COLOR - AS PER MGH STANDARD.
- CABLES SHALL BE RUN CONTINUOUSLY WITH NO SPICES.
- CABLES SHALL BE SUPPORTED ON CABLE TRAYS AN J-HOOKS OFF THE JOISTS.
- CONTRACTOR SHALL PATCH CABLES AT THE RACK LOCATION AS PER MGH PATCH SCHEDULE TEMPLATE.
- CABLING CONTRACTOR SHALL LEAVE 5M SERVICE COIL IN CEILING FOR FUTURE CHANGES.
- ALL FACEPLATES SHALL BE BELDEN KEYCONNECT MINIMUM 4-OUTLET PLATE WITH BLANK FILLERS INSTALLED IN ALL NON-USED OUTLETS; PLATE COLOR TO BE AS PER MGH STANDARD.
- ALL LABELLING (PATCH PANELS, DATA DROPS, ETC.) SHALL BE AS PER MGH STANDARDS - REFER TO "MGH NETWORK CABLING & NETWORK CLOSET STANDARDS & GUIDELINES".
- ALL LABELING SHALL BE COMPLETED USING A MECHANICAL LABEL MAKER.
- CABLING CONTRACTOR SHALL SUBMIT AS-BUILT DRAWINGS AND CERTIFICATION TESTS AT THE COMPLETION OF PROJECT, INCLUDING:
 - PATCH SCHEDULE FOR ALL DATA DROPS
 - WIRELESS SITE SURVEY REPORT
 - WIRED NETWORK CABLE RESULTS (FLUKE TEST)
 - CERTIFICATION (UPS & EMERGENCY COMMISSIONING REPORT) OF POWER SOURCES IN NETWORK CLOSET
- CABLING CONTRACTOR IS RESPONSIBLE FOR FIRE STOPPING AT ALL FULL HEIGHT WALL OR SLAB PENETRATIONS.

- c. RETAIN PBX-CANADA TO PROVIDE AN OVERHEAD PAGING SYSTEM C/W ALL HARDWARE, ALL DEVICES AS INDICATED ON THE DRAWINGS, ALL WIRING, PROGRAMING AND COMMISSIONING. PACKAGE TO INCLUDE 1YEAR ALL-INCLUSIVE MAINTENANCE SERVICE FROM THE MANUFACTURER.

- IP PBX SERVER
- 24-PORT PoE SWITCH FOR 19 INCH RACK MOUNTING.
- VoIP PoE CEILING SPEAKERS AND
- 4 IP PHONES COMPATIBLE WITH THE PBX SERVER.

INSTALL SERVER AND SWITCH ON THE DATA RACK.
INSTALL DEVICES C/W NETWORK CABLING AND PATCH ON THE RACK AS PER MGH STANDARD.

- d. PROVIDE TWO (2) COMMERCIAL GRADE CELLULAR BOOSTERS, WEBOOST OFFICE-200 OR EQUAL, C/W INDOOR AND OUTDOOR ANTENNAE, CABLES AND LIGHTNING SURGE PROTECTOR.

INSTALL AS PER THE MANUFACTURERS RECOMMENDATIONS. PLUG INTO THE RACK EP PDU.
INSTALL THE OUTDOOR ANTENNA ON THE ROOF, COORDINATE EXACT LOCATION ON SITE.

- e. RETAIN THE BASE BUILDING FIRE ALARM SERVICE PROVIDER TO MAKE MODIFICATIONS OF THE EXISTING FIRE ALARM SYSTEM. C/W ALL HARDWARE, ALL DEVICES AS INDICATED ON THE DRAWINGS, ALL WIRING, FAA DIRECTORY UPDATE, PROGRAMING AND COMMISSIONING.

THE FIRE ALARM SYSTEM IS MIROCOM.
COORDINATE WITH THE FIRE ALARM SERVICE PROVIDER AND INSTALL ALL REQUIRED CONDUIT, DEVICE BOXES AND WIRING.

- 1 PROVIDE 12"Wx4"D WIREMESH CABLE TRAY CABLOFILL CB-105 OR EQUAL.
- 2 PROVIDE WATERFALLS WHERE TRAY CHANGES ELEVATION - TYP.
- 3 RUN CABLING TO UNDER DESK IN CONDUIT.
- 4 PATCH WAPS TO DIFFERENT SWITCHES.
- 5 1" FLEX CONDUIT C/W PULL STRING TO BASEMENT BELL ROOM.
- 6 PROVIDE 1FT OR MORE DISTANCE BETWEEN TOP OF RACK AND TRAY AND TRAY AND T-BAR CEILING. COORDINATE WITH ARCHITECTURAL ON SITE.

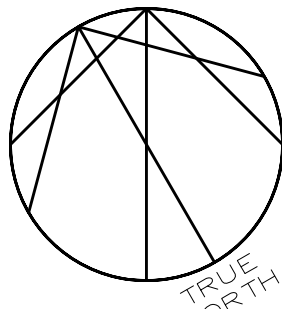
DATE	ISSUED FOR	REV
2025-10-16	Review	A
2025-10-28	Review	B
2025-11-05	Permit and tender	0
2025-11-14	Addendum 1	1
2025-11-26	Addendum 2	2

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Project Manager Drawn SM

Project Leader Checked ZD

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Project

MGH - Outpatient
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Drawing Title

SYSTEMS

Scale

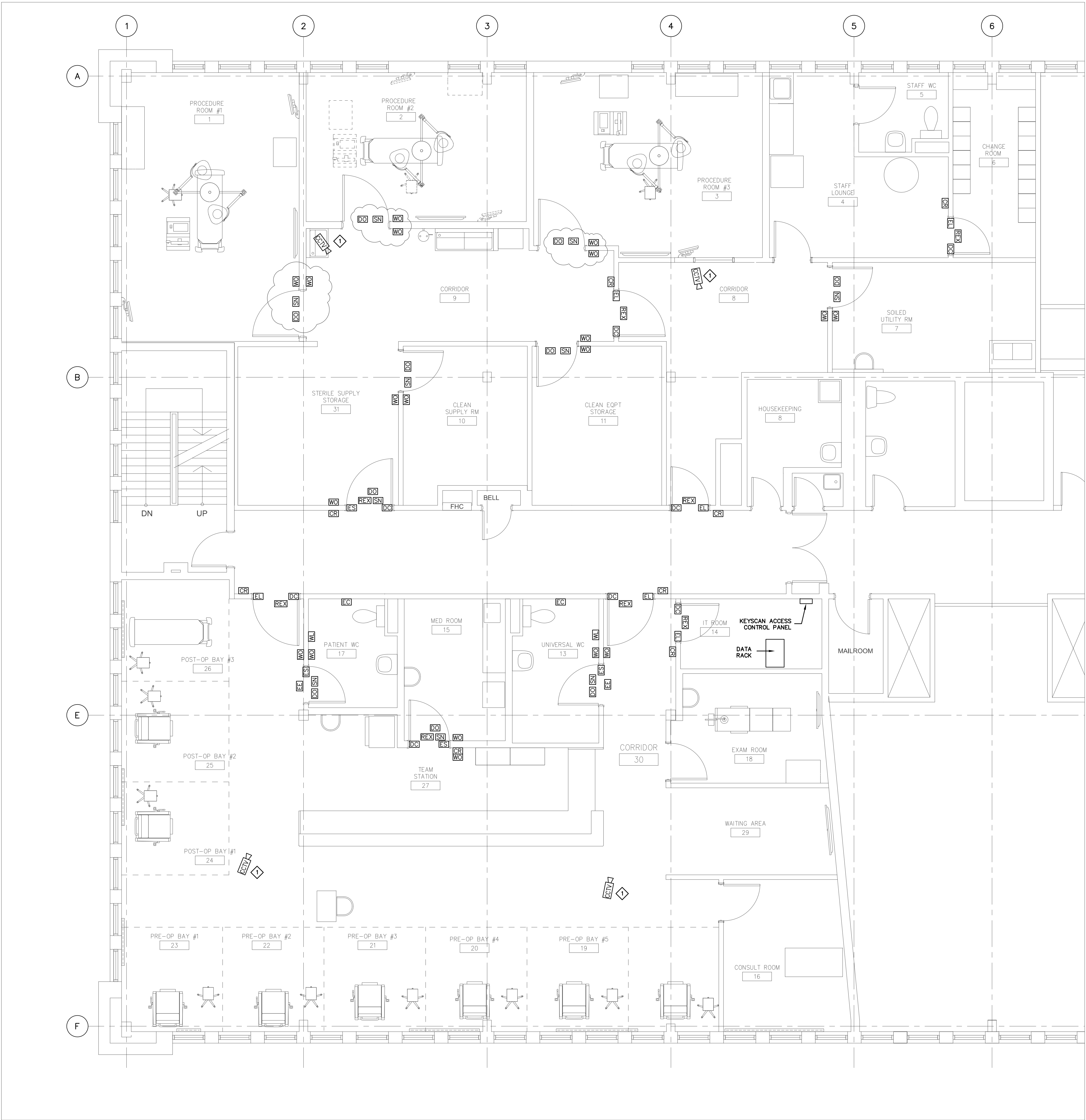
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Project No.

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Drawing No.

E-302



NOTES:

- a. FOR EXACT LOCATION AND ELEVATION OF DEVICES SEE ARCHITECTURAL.
- b. RETAIN A1 DESIGN&LOOK FURNISH ACCESS CONTROL SYSTEM, C/W ALL HARDWARE, ALL DEVICES AS INDICATED ON THE DRAWINGS, ALL WIRING, PROGRAMING AND COMMISSIONING.
- THE ACCESS CONTROL SYSTEM SHALL CONSIST OF:
-KEYSCAN 8-DOOR PANEL, WITH POWER SUPPLY AND BATTERY
-HID CARD READERS AND DEVICES AS PER THE DOOR HARDWARE SCHEDULE
-ALL ACCESS CONTROL DEVICES SHALL BE APPROVED BY MGH
- COORDINATE WITH THE SECURITY VENDOR AND INSTALL ALL REQUIRED CONDUIT, DEVICE BOXES AND WIRING.
- c. RETAIN CHUBB SECURITY TO PROVIDE ALL HARDWARE, ALL DEVICES AS INDICATED ON THE DRAWINGS, ALL WIRING, PROGRAMING AND COMMISSIONING.
- THE CCTV SYSTEM SHALL BE: SECURITY CAMERA-TYP.4.
- IP BASED WITH 1080P HD RESOLUTION AND AXIS DOME CAMERAS - AS APPROVED BY MGH
-POE
-PATCH AT SECURITY SWITCH IN IT ROOM.
-INTEGRATED IN THE EXISTING MGH MILESTONE SYSTEM

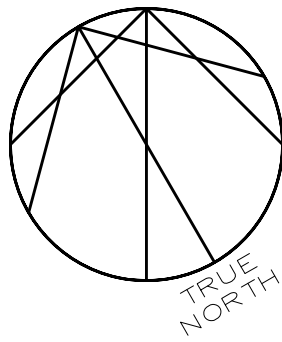
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Project Leader	Checked	ZD



Project
**MGH - Outpatient
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Drawing Title

SECURITY

Scale

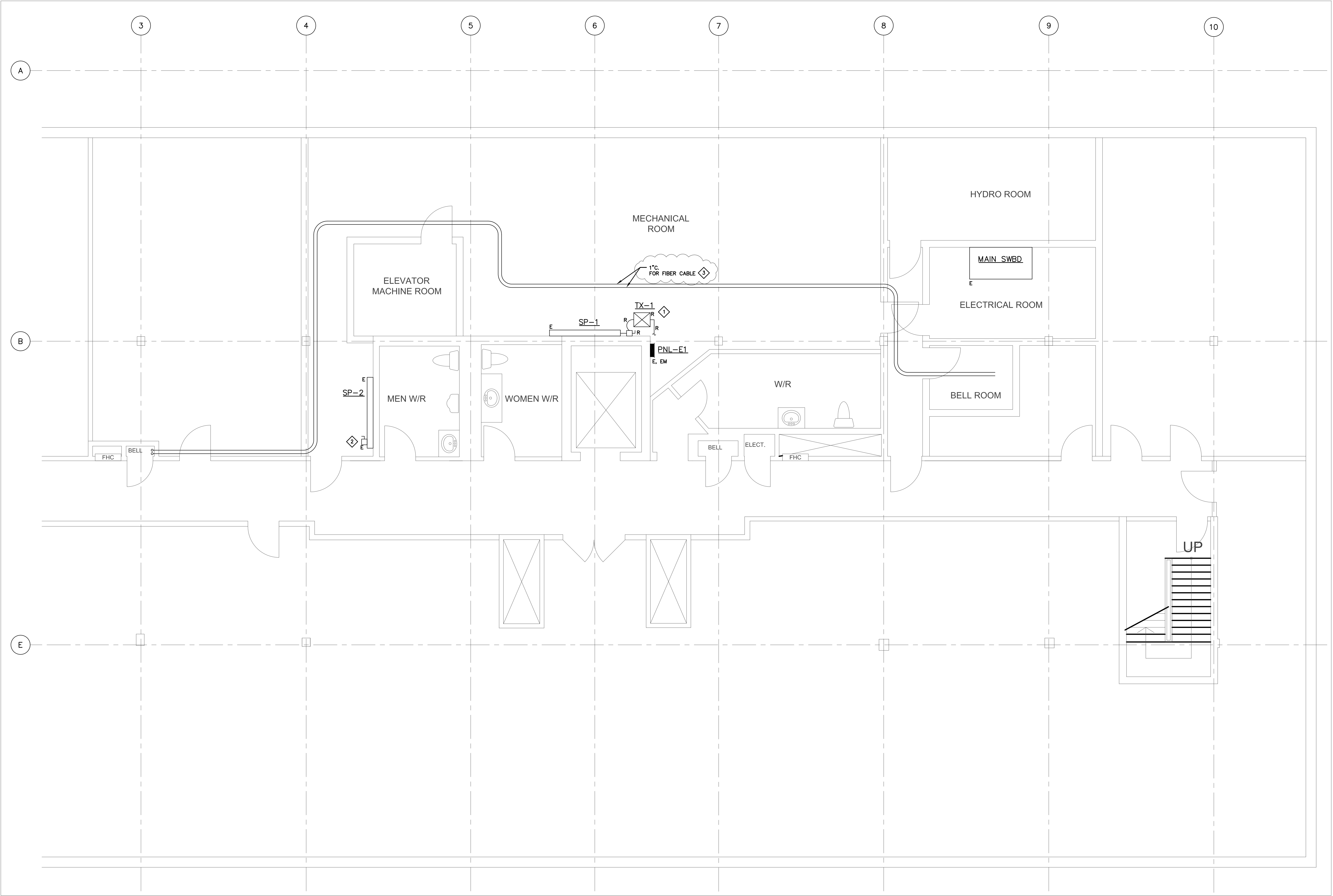
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Project No.

242519

Drawing No.

E-303



NOTES:

- 1 REMOVE TRANSFORMER C/W PRIMARY AND SECONDARY FEEDER.
- 2 DISCONNECT FOR HUMIDIFIER.
- 3 1\"/>

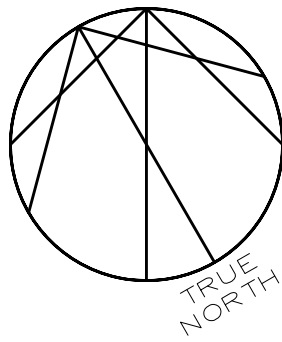
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Project Leader	Checked	ZD

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Ophthalmology Clinic

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Drawing Title

POWER
-BASEMENT

Scale
1:50

Project No.
242519

Drawing No.
E-305

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A diagram of a circle with a vertical line passing through its center. Several other lines intersect within the circle, creating a complex geometric pattern. The text "TRUE NORTH" is written in the lower right quadrant of the circle.

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 MICHAEL GARRON HOSPITAL
TORONTO EAST HEALTH NETWORK

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Drawing No.	E-701

